

**REQUEST FOR CONTRACTOR QUALIFICATIONS**

for

**FOSTER CITY RECREATION CENTER REBUILD**  
**PROJECT CIP 301-678**



**February 20, 2024**

**City of Foster City  
610 Foster City Boulevard Foster  
City, California 94404**

**Project Location:**  
650 Shell Boulevard  
Foster City, California, 94404

**Deadline for Submissions:**  
March 25, 2024 at 2:00 PM

**CITY OF FOSTER CITY  
RECREATION CENTER REBUILD PROJECT  
PRE-QUALIFICATION OF GENERAL CONTRACTORS**

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**NOTICE TO BIDDERS FOR PRE-QUALIFICATION (GC'S)**

CITY OF FOSTER CITY

NOTICE IS HEREBY GIVEN that the CITY OF FOSTER CITY is inviting contractors to submit pre-qualification packages for the project referred to and described as follows:

**PROJECT:** Foster City Recreation Center Rebuild  
**PROJECT DESCRIPTION:** The Foster City Recreation Center (FCRC) is a new ground up facility with a Gross Square Footage of 37,940 SF and related site improvements.

The new Recreation Center Rebuild project will include the primary following scopes of work:

1. Demolition of existing buildings
2. New site utilities and landscaping
3. Core and shell and tenant improvements
4. Recreation Center program spaces and administration offices
5. Food services
6. Outdoor event spaces

**COMPLETION:** 20 Months  
**CONSTRUCTION COST ESTIMATE:** \$54,000,000  
**LICENSE REQUIRED:** GENERAL CONTRACTORS; CLASS 'A' or 'B'

Prospective bidders for pre-qualification may review and download an electronic copy of the original pre-qualification package on the Foster City website, at the following link:  
<https://www.fostercity.org/parksrec/page/recreation-center-rebuild-project-rfp>

Pre-Qualification packages shall be **uploaded electronically** to the Foster City website link below **before or at 2:00 p.m. on Monday March 25, 2024**

**Submission Link:** <https://www.fostercity.org/parksrec/page/recreation-center-rebuild-project-rfp-form>

After Pre-Qualification package submission, all packages will be reviewed and approved pre-qualified bidders will be notified via email, and a list will be posted to the RFQ webpage.

If there are any questions, please email **Amy Zhou**, Public Works Department, at: [azhou@fostercity.org](mailto:azhou@fostercity.org)

Date: \_\_\_\_\_

\_\_\_\_\_  
Derek Schweigert

Parks and Recreation Director

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The City of Foster City seeks to pre-qualify General Contractors for the construction of the Foster City Recreation Center Rebuild (“Project”), and hereby invites sealed pre-qualification submittals from licensed Contractors.

Notice is hereby given that the City of Foster City has determined that general contractor bidders on this Project must be pre-qualified prior to submitting a bid on this Project. The pre-qualification evaluation is solely for the purpose of determining which general building contractors (Contractors) are deemed qualified to successfully construct the Project.

Only Contractors in possession of a valid Class A or B Contractors license are allowed to bid on the Project.

It is **mandatory** that all Contractors who intend to submit a bid, fully complete the pre-qualification questionnaire, provide all requested materials, and be approved by the City of Foster City be on the final qualified bidders list.

Pre-Qualification submittal packages may be obtained at:

<https://www.fostercity.org/parksrec/page/recreation-center-rebuild-project-rfp>

**FILING OF SUBMITTALS: On or before 2:00 PM, March 25, 2024**

Pre-Qualification Questionnaires shall be **uploaded electronically** to the following Foster City webpage: <https://www.fostercity.org/parksrec/page/recreation-center-rebuild-project-rfp-form>

All submittals must be labeled:

Recreation Center Rebuild Project - Contractor Prequalification”

**To: Amy Zhou**

Assistant Engineer  
azhou@fostercity.org  
Foster City Public Works Department  
610 Foster City Blvd.  
Foster City CA, 94404

It is the sole responsibility of the Contractor to see that the Pre-Qualification Submittal is received before the stated deadline.

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**PROJECT TEAM**

**OWNER**

CITY OF FOSTER CITY  
610 Foster City Blvd.  
Foster City, CA. 94404  
Contact: Amy Zhou

**CONSTRUCTION MANAGER**

GRIFFIN STRUCTURES  
1850 Warburton Ave.  
Santa Clara, CA. 95050  
George Sanen  
gsanen@griffinstructures.com

**ARCHITECT OF RECORD**

Group 4 Architecture and Planning  
211 Linden Avenue  
South San Francisco, CA 94080  
Contact: Dawn Merkes

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**PROJECT DESCRIPTION**

The Foster City Recreation Center (FCRC) is a new ground up facility with a Gross Square Footage of 37,940 SF and related site improvements.

The new Recreation Center Rebuild project will include the primary following scopes of work:

1. Demolition of existing buildings
2. New site utilities and landscaping
3. Core and shell and tenant improvements
4. Recreation Center program spaces and administration offices
5. Food services
6. Outdoor event spaces

The project shall meet the intent of LEED Silver Certification.

The engineer's estimate for this project is \$54,000,000.

For additional information regarding the current designs for this project, please see **Attachment A "Project Reference Drawings and Draft Renderings."** Final designs will be available with issuance of the final bidding and contract documents.

**PROJECT SCHEDULE**

The current tentative **Project Schedule** is as follows:

- Pre-Qualification of Contractors: February – April 2024
- Project Bidding: June - July 2024
- Award Project: August 2024
- Start Construction: September 2024
- Estimated construction duration: 20 months

**PRE-QUALIFICATION SCHEDULE**

Advertisement Inviting Pre-Qualification Submittals:	February 20, 2024
Submissions Due:	March 25, 2024
Pre-Qualification Notification:	April 05, 2024

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**GENERAL**

Foster City is seeking qualified Class “A” or “B” General Contractors with construction experience of at least four (4) projects demonstrating comparable experience. Please see Part III Similar Project Experience (page 26) for a definition of “comparable experience.”

Each prospective Contractor must successfully complete the pre-qualification questionnaire, provide all requested materials in the required form, and be approved by Foster City to be on the final qualified bidders list. The City will not accept submission of incomplete or late documentation. Incomplete documentation will result in the rejection of the prospective Contractor.

Answers to all questions contained in the attached questionnaire, information about current bonding capacity, notarized statement from surety, and the most recent reviewed or audited financial statements, with accompanying notes and supplemental information, are required.

Foster City reserves the right to unilaterally adjust, increase, limit, suspend, or rescind the pre-qualification rating based on subsequently learned information. Contractors whose rating changes significantly after pre-qualification that disqualifies them will be notified and given an opportunity for a hearing consistent with the Appeal procedures described below to appeal a pre-qualification rating.

Foster City will not be liable for any cost incurred by any Contractor in connection with this pre-qualification process, including the preparation of its submittal package.

**PRE-QUALIFICATION GUIDELINES**

Each prospective Contractor must successfully complete the pre-qualification process outlined in this document. No other pre-qualification process completed for Foster City or any other agency will meet these requirements.

Prospective Contractors must submit “Statements of Qualifications” (SOQ) by completing the Pre-Qualification Submittal Questionnaire package. Foster City will not accept information or documents from other parties. Submission of incomplete and/or unclear Pre-Qualification Submittal Questionnaire or other required materials will result in rejection of the prospective contractor.

Any questions or requests for information must be submitted in writing to:

**George Sanen**  
Project Executive  
Griffin Structures, Inc.  
Email: [gsanen@griffinstructures.com](mailto:gsanen@griffinstructures.com)  
Phone: 415-858-8582

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**PREPARATION OF PRE-QUALIFICATION SUBMITTALS**

The submittal information should be separated by sections. **One (1) electronic copy in \*.PDF** format of the Pre-Qualification Submittal shall be uploaded to the Foster City webpage below. The completed Pre-Qualification Submittal should not exceed 50 pages. Foster City reserves the right to waive minor irregularities and omissions in the information contained in the pre-qualification application submitted.

**Submission Link:** <https://www.fostercity.org/parksrec/page/recreation-center-rebuild-project-rfp-form>

**EVALUATION AND ANALYSIS**

Pre-qualification of prospective contractors will be determined from the information submitted in each Pre-Qualification Questionnaire Submittal. Foster City reserves the right to verify from other available sources the information provided by the Contractor and to rely upon such information gathered during the verification process. Foster City's decision will be based on objective evaluation criteria. Further consideration of a prospective contractor's qualifications will be made only if the prospective contractor meets all of the following minimum requirements:

1. Submission of a properly completed and signed Declaration
2. Possession of the valid California Contractors "A" or "B" License in good standing
3. Meet bonding capacity requirements – Single limit of \$60M. Aggregate limit of \$120,000,000
4. Meet insurance requirements
5. Demonstration of General Contractor's Similar Project Experience
6. Demonstration of Contractor's Project Manager/Field Superintendent Comparable Experience
7. No completion of work by surety in the last 15 years
8. Satisfactory History with the Department of Industrial Relations (DIR)
9. Meet financial requirements

In addition to the minimum requirements listed above, the City will allocate 5 additional points to the scoresheet below for applicants who are signatory to a trade union agreement and an additional 2 points for a place of business that is identified in the Pre-Qualification Questionnaire Submittal as physically located within the geographic boundary limits of the City of Foster City, for a total of 7 points if both conditions are met.

Note: this project is subject to Prevailing Wage requirements per DIR requirements. Any contract that is subsequently bid and awarded must comply with all prevailing wage requirements. This project is not subject to a Project Labor Agreement (PLA) but is encouraging participation by local and Union contractors by offering additional points on



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Part IIB to contractors who are local and/or parties to one or more collective bargaining agreements.

The Pre-Qualification Questionnaire Submittal Analysis Form that will be used to verify minimum qualifications is included. Foster City will screen each responding prospective Contractor's statement for minimum qualifications and develop a list of Pre-Qualified Contractors.

Foster City reserves the right to reject any or all responses to pre-qualification questionnaires and any or all subsequent bids for construction projects, and to waive any irregularities in any response to the pre-qualification application.

While it is the intent of the pre-qualification questionnaire and required documents to assist Foster City in determining bidder responsibility prior to bid and to aid Foster City in selecting the lowest responsible bidder, neither the fact of pre-qualification, nor any pre-qualification rating, will preclude Foster City from a post-bid consideration and determination of whether a bidder has the quality, fitness, capacity and experience to satisfactorily perform the proposed work on the Project.

The questionnaires and financial statements shall not be public records and shall not be open to public inspection; however, records of the names of contractors applying for prequalification status shall be public records subject to disclosure under Division 10 (commencing with Section 7920.000) of Title 1 of the Government Code. However, by submitting the pre-qualification packet, the Contractor agrees that the contents of the submittal may be disclosed to third parties for the purpose of verification, investigation of substantial allegations, or in any appeal hearing. Also, the names of prospective contractors applying for pre-qualification status will be subject to disclosure.

**APPEALS PROCEDURE**

Any prospective bidder who Foster City determines to not pass the pre-qualification process shall have the right to request review of the determination. The prospective bidder shall request review by delivering to Foster City Administrator a written notice requesting a review. The prospective bidder shall deliver such written notice to the Foster City Administrator within five (5) business days of being notified that the prospective bidder has been determined not to be qualified. Upon request of the prospective bidder, Foster City shall provide notification to the prospective bidder in writing of the basis for the prospective bidder's disqualification and any supporting evidence that has been received from others or adduced as a result of an investigation by the public entity.

The Foster City Administrator or his/her designee shall conduct an appeals hearing no later than ten (10) business days following receipt of the contractor's written notice. The hearing conducted shall be informal but will be an evidentiary hearing. At the hearing, the prospective bidder shall be given the opportunity to rebut any evidence used as a

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basis for disqualification and to present evidence to the public entity as to why the prospective bidder should be found qualified. The Foster City Administrator shall consider all evidence, information and arguments submitted by the contractor relevant to Foster City's determination, the Foster City response to such evidence, information and arguments, and any other information the Foster City Administrator deems relevant. Promptly following the hearing, the Foster City Administrator shall issue a written decision regarding the matter, which shall be final and binding.

The Contractor waives its right to challenge Foster City's decision if it fails to deliver the notice within the five (5) business days.

**STATEMENT OF UNDERSTANDING**

The undersigned certifies that the statements and information contained in this submittal are complete and accurate and that the submittal contains no false or deliberately misleading information. The undersigned hereby agrees and declares that receipt of this submittal by Foster City does not constitute either a direct or implied guarantee to the Contractor that pre-qualification is or will be granted and also agrees to the procedures and conditions of the pre-qualification requirements described in the Pre-Qualification Document.

(1) Legal Name of Applicant (Contractor) \_\_\_\_\_  
\_\_\_\_\_

(2) Address of Applicant (Contractor) \_\_\_\_\_  
\_\_\_\_\_

(3) Phone Number \_\_\_\_\_ Fax \_\_\_\_\_  
Email \_\_\_\_\_

(4) Applicant is a ( ) Corporation ( ) Partnership ( ) Sole Proprietorship ( ) Joint Venture

(5) If Contractor is a Corporation, name the State of Incorporation \_\_\_\_\_

(6) Total number of years the Contractor has been contracting \_\_\_\_\_

(7) Total number of years the Contractor has been in construction \_\_\_\_\_  
\_\_\_\_\_

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(8) Banking institution authorized to provide corroboration of applicant's financial stability:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact: \_\_\_\_\_ Telephone \_\_\_\_\_

(9) Is the Contractor signatory to any collective bargaining agreement (Yes or No). If yes please provide affiliate information:

\_\_\_\_\_

(10) Execution:

The undersigned is a legally authorized representative of the Contractor. The legal name of the Contractor is \_\_\_\_\_

State of California

Contractor's License Number: \_\_\_\_\_ Type: \_\_\_\_\_

Expiration: \_\_\_\_\_

\_\_\_\_\_, being first duly sworn, says that all statements and information contained in this Submittal are complete and accurate and that this Submittal contains no false or deliberately misleading information.

\_\_\_\_\_  
Contractor

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

Notary Public in and for the State of \_\_\_\_\_

Residing at \_\_\_\_\_

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Expiration Date: \_\_\_\_\_

**END OF FORM**

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**PART I: ESSENTIAL REQUIREMENTS FOR QUALIFICATION**

**IMPORTANT NOTE:**

**Contractor will be immediately disqualified if the answer to any of questions 1 through 8 is “no.”**

**Contractor will be immediately disqualified if the answer to any of questions 9 through 11 is “yes.” If the answer to question 11 is “yes,” and if debarment would be the sole reason for denial of pre-qualification, any pre-qualification issued will exclude the debarment period.**

1. Contractor possesses a valid and current California Class “A” or “B” General Contractor’s License in good standing for this project for which it intends to submit a bid.  
 Yes       No
2. Contractor has (or can provide proof that they can obtain within ten (10) business days prior to award) an insurance policy(ies) consistent with Attachment B “Insurance Requirements”.  
 Yes       No
3. Contractor has current workers’ compensation insurance policy as required by the Labor Code or is legally self-insured pursuant to Labor Code section 3700 et. seq.  
 Yes       No
4. Have you attached your latest copy of a reviewed or audited financial statement with accompanying notes and supplemental information  
 Yes       No

***NOTE: A financial statement that is not either reviewed or audited by a Certified Public Accountant (CPA) is not acceptable. A letter verifying availability of a line of credit may also be attached; however, it will be considered as supplemental information only, and is not a substitute for the required financial statement.***

5. Have you attached a notarized statement from an admitted surety insurer (approved by the California Department of Insurance and authorized to issue bonds in the State of California), which states that your current bonding capacity is at least \$90,000,000 for a single project, and \$180,000,000 aggregate, should you be selected?<sup>1</sup>  
 Yes       No

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<sup>1</sup> An additional notarized statement from the surety may be requested by the City of Foster City at the time of submission of a bid, if this pre-qualification package is submitted more than 60 days prior to submission of the bid.

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**NOTE: Notarized statement must be from Surety Company, not an agent or broker.**

6. Contractor has completed at least four (4) comparable projects in the last fifteen (15) years? See Part IIIA: Similar Project Experience Questionnaire (Contractor Experience Requirements) for criteria.

Yes       No

7. Has your contractor's license been revoked at any time in the last fifteen (15) years?

Yes       No

8. Has a surety firm completed, or is in the process of completing, a contract on your behalf, or has paid for completion because your firm was default terminated by the project owner within the last fifteen (15) years?

Yes       No

9. At the time of submitting this pre-qualification form, is your firm ineligible to bid on or be awarded any local, state or federal public works contracts, or perform as a subcontractor on any such public works contract, pursuant to either Labor Code section 1777.1 or Labor Code section 1777.7 or any other local, state or federal law or regulation?

Yes       No

If the answer is "Yes," state the beginning and ending dates of the period of debarment:

Starting \_\_\_\_\_ Ending \_\_\_\_\_

10. At any time during the last fifteen (15) years, has your firm or any of its owners or officers been convicted of a crime involving the awarding of a contract of a government construction project, or the bidding or performance of a government contract?

Yes       No

11. In the last fifteen (15) years has your firm been denied an award of a public works contract based on a finding by a public agency that your company was not a responsible bidder?

Yes       No

If "yes," explain on a separate signed page. Identify the year of the event, the owner, the project and the basis for the finding by the public agency.

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**PART II: QUESTIONNAIRE**

**Section A. Current Organization and Structure of the Business**

**For Firms That Are Corporations:**

- 1a. Date incorporated: \_\_\_\_\_
- 1b. Under the laws of what state: \_\_\_\_\_
- 1c. Provide all the following information for each person who is either (a) an officer of the corporation (president, vice president, secretary, treasurer), or (b) the owner of at least ten percent (10%) of the corporation's stock.

Name	Position	Years with Co.	% Ownership	Social Security #

- 1d. Identify every construction firm that any person listed above has been associated with (as owner, general partner, limited partner or officer) at any time during the last fifteen years.

***NOTE: For this question, "owner" and "partner" refer to ownership of ten percent (10%) or more of the business, or ten percent (10%) or more of its stock, if the business is a corporation.***

Person's Name	Construction Firm	Dates of Person's Participation with Firm

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**For Firms That Are Partnerships:**

- 1a. Date of formation: \_\_\_\_\_
- 1b. Under the laws of what state: \_\_\_\_\_
- 1c. Provide all the following information for each partner who owns ten percent (10%) or more of the firm.

Name	Position	Years with Co.	% Ownership	Social Security #

- 1d. Identify every construction company that any partner has been associated with (as owner, general partner, limited partner or officer) at any time during the last five years.

***NOTE: For this question, "owner" and "partner" refer to ownership of ten percent (10%) or more of the business, or ten percent (10%) or more of its stock, if the business is a corporation.***

Person's Name	Construction Company	Dates of Person's Participation with Company



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**For Firms That Are Sole Proprietorships:**

- 1a. Date of commencement of business: \_\_\_\_\_
- 1b. Social security number of company owner: \_\_\_\_\_
- 1c. Identify every construction firm that the business owner has been associated with (as owner, general partner, limited partner or officer) at any time during the last fifteen (15) years.

***NOTE: For this question, "owner" and "partner" refer to ownership of ten percent (10%) or more of the business, or ten percent (10%) or more of its stock, if the business is a corporation.***

Person's Name	Construction Company	Dates of Person's Participation with Company

**For Firms That Intend to Make a Bid as Part of a Joint Venture:**

- 1a. Date of commencement of joint venture: \_\_\_\_\_
- 1b. Provide all of the following information for each firm that is a member of the joint venture that expects to bid on one (1) or more projects:

Name of firm	% Ownership of Joint Venture

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**Section B. History of the Business and Organizational Performance**

1. Has there been any change in ownership of the firm at any time during the last fifteen (15) years?

**NOTE: A corporation whose shares are publicly traded is not required to answer this question.**

Yes       No

If "yes," explain on a separate signed page.

2. Is the firm a subsidiary, parent, holding company, or affiliate of another construction firm?

**NOTE: Include descriptive and background information about other firms if one firm owns fifty percent (50%) or more of another, or if an owner, partner, or officer of your firm holds a similar position in another firm.**

Yes       No

If "yes," explain on a separate signed page.

3. Are any corporate officers, partners or owners connected to any other construction firms?

**NOTE: Include descriptive and background information about other firms if an owner, partner, or officer of your firm holds a similar position in another firm.**

Yes       No

If "yes," explain on a separate signed page.

4. State your firm's gross revenue for each of the last three (3) years:

2021

2022

2023

\_\_\_\_\_

5. How many years has your organization been in business in California as a contractor under your present business name and license number? \_\_\_\_\_ Years

**6 years or more = 3 points**

**8 years or more = 4 points**

**10 years or more = 5 points**

6. Was your firm in bankruptcy at any time during the last fifteen (15) years?

Yes       No

**"No" = 3 points      "Yes" = 0 points**

If "yes," please attach a copy of the bankruptcy petition, showing the case number and the date on which, the petition was filed, and a copy of the Bankruptcy Court's

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discharge order, or any other document that ended the case, if no discharge order was issued.

***Licenses***

7. List all California construction license numbers, classifications and expiration dates of the California Contractor Licenses held by your firm:


8. If any of your firm's license(s) are held in the name of a corporation or partnership, list below the names of the qualifying individual(s) listed on the California Contractors State License Board (CSLB) records who meet(s) the experience and examination requirements for each license.

\_\_\_\_\_

\_\_\_\_\_

9. Has your firm changed names or license number in the past fifteen (15) years?  
 Yes       No

If "yes," explain on a separate signed page, including the reason for the change.

10. Has any owner, partner, or (for corporations) officer of your firm operated a construction firm under any other name in the last fifteen (15) years?  
 Yes       No

If "yes," explain on a separate signed page, including the reason for the change.

11. Has any CSLB license held by your firm or its Responsible Managing Employee (RME) or Responsible Managing Officer (RMO) been suspended within the last fifteen (15) years?  
 Yes       No

**"No" = 5 points      "Yes" = 0 points**

If "yes," please explain on a separate signed sheet.

***Disputes***

12. At any time in the last fifteen (15) years has your firm been assessed and paid liquidated damages after completion of a project under a construction contract with either a public or private owner?  
 Yes       No

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***No projects with liquidated damages of more than \$10,000, = 5 points***  
***Two (2) projects with liquidated damages of more than \$10,000 = 3 points***  
***Any other answer: 0 points***

If yes, explain on a separate signed page, identifying all such projects by owner, owner's address, the date of completion of the project, amount of liquidated damages assessed and all other information necessary to fully explain the assessment of liquidated damages.

13. In the last fifteen (15) years has your firm, or any firm with which any of your company's owners, officers or partners was associated, been debarred, disqualified, removed or otherwise prevented from bidding on, or completing, any government agency or public works project for any reason?

**NOTE: "Associated with" refers to another construction firm in which an owner, partner or officer of your firm held a similar position, and which is listed in response to question 1c or 1d on this form.**

Yes       No

***"No" = 5 points      "Yes" = 0 points***

If "yes," explain on a separate signed page. State whether the firm involved was the firm applying for pre-qualification here or another firm. Identify by name of the company, the name of the person within your firm who was associated with that company, the year of the event, the owner of the project, the project and the basis for the action.

\* \* \* \* \*

**NOTE: The following two (2) questions refer to disputes between your firm and the owner of a project as well as information about disputes between your firm and a supplier, another contractor, or subcontractor. You need not include information about "pass-through" disputes in which the actual dispute is between a sub-contractor and a project owner. Also, you may omit reference to all disputes about amounts of less than \$10,000.**

14. In the past fifteen (15) years has any claim **against** your firm concerning your firm's work on a construction project been **filed in court or arbitration?**

Yes       No

***5 points for "No"***

***1 point for "Yes" indicating 1 such instance***

***Subtract 5 points for "Yes" if more than 2 such instances***

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If “yes,” on separate signed sheets of paper identify the claim(s) individually by providing the project name, date of the claim, name of the claimant, a brief description of the nature of the claim, the court in which the case was filed and a brief description of the status of the claim (pending or resolved, including a brief description of the resolution).

15. In the past fifteen (15) years has your firm made any claim against a project owner concerning work on a project or payment for a contract and **filed that claim in court or arbitration?**

Yes       No

**5 points for “No”**

**1 point for “Yes” indicating 1 such instance**

**Subtract 5 points for “Yes” if more than 2 such claims**

If “yes,” on separate signed sheets of paper identify the claim by providing the project name, date of the claim, name of the entity (or entities) against whom the claim was filed, a brief description of the nature of the claim, the court in which the case was filed and a brief description of the status of the claim (pending, or resolved including a brief description of the resolution).

16. At any time during the past fifteen (15) years, has any surety company made any payments on your firm’s behalf as a result of a default, to satisfy any claims made against a performance or payment bond issued on your firm’s behalf, in connection with a construction project, either public or private?

Yes       No

**5 points for “No”**

**1 point for “Yes” indicating 1 such instances**

**Subtract 5 points for “Yes” if more than 2 such claims**

If “yes,” explain on a separate signed page the amount of each such claim, the name and telephone number of the claimant, the date of the claim, the grounds for the claim, the present status of the claim, the date of resolution of such claim if resolved, the method by which such was resolved if resolved, the nature of the resolution and the amount, if any, at which the claim was resolved.

17. In the last fifteen (15) years has any insurance carrier, for any form of insurance, refused to renew the insurance policy for your firm?

Yes       No

**5 points for “No”**

**2 points for “Yes” indicating 1 such instances**

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***0 points for "Yes" if more than 2 such instances***

If "yes," explain on a separate signed page. Name the insurance carrier, the form of insurance and the year of the refusal.

***Criminal Matters and Related Civil Suits***

18. Has your firm or any of its owners, officers or partners ever been found liable in a civil suit or found guilty in a criminal action for making any false claim or material misrepresentation to any public agency or entity?

Yes       No

***"No" = 5 points    "Yes" = subtract 5 points***

If "yes," explain on a separate signed page, including identifying who was involved, the name of the public agency, the date of the investigation and the grounds for the finding.

19. Has your firm or any of its owners, officers or partners ever been convicted of a crime involving any federal, state, or local law related to construction?

Yes       No

***"No" = 5 points    "Yes" = subtract 5 points***

If "yes," explain on a separate signed page, including identifying who was involved, the name of the public agency, the date of the conviction and the grounds for the conviction.

20. Has your firm or any of its owners, officers or partners ever been convicted of a federal or state crime of fraud, theft, or any other act of dishonesty?

Yes       No

***"No" = 5 points    "Yes" = subtract 5 points***

If "yes," identify on a separate signed page the person or persons convicted, the court (the county if a state court, the district or location of the federal court), the year and the criminal conduct.

***Bonding***

21. Bonding capacity: \_\_\_\_\_

Provide documentation from your surety identifying the following:

Name of bonding company/surety: \_\_\_\_\_

**CITY OF FOSTER CITY  
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Name of surety agent, address and telephone number:

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22. If your firm was required to pay a premium of more than one percent (1%) for a performance and payment bond on any project(s) on which your firm worked at any time during the last five (5) years, state the percentage that your firm was required to pay. You may provide an explanation for a percentage rate higher than one percent (1%), if you wish to do so.

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**5 points if the rate is no more than one per cent**  
**3 points if the rate was no higher than 1.10 per cent**  
**0 points for any other answer**

23. List all other sureties (name and full address) that have written bonds for your firm during the last five (5) years, including the dates during which each wrote the bonds:

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24. During the last fifteen (15) years, has your firm ever been denied bond coverage by a surety company, or has there ever been a period of time when your firm had no surety bond in place during a public construction project when one was required?

Yes       No

**“No” = 5 points    “Yes” = 0 points**

If yes, provide details on a separate signed sheet indicating the date when your firm was denied coverage and the name of the company or companies which denied coverage; and the period during which you had no surety bond in place.

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**Section C. Compliance with Regulatory Requirements**

**Safety and Workers Compensation**

25. Has CAL OSHA cited and assessed penalties against your firm for any “serious,” “willful” or “repeat” violations of its safety or health regulations in the past twelve (12) years?

**NOTE: If you have filed an appeal of a citation, and the Occupational Safety and Health Appeals Board has not yet ruled on your appeal, you need not include information about it.**

Yes       No

**5 points for “No”**

**3 points for “Yes” indicating 1 such instances**

**0 points for “Yes” if more than 2 such instances**

If “yes,” attach a separate signed page describing the citations, including information about the dates of the citations, the nature of the violation, the project on which the citation(s) was or were issued, the amount of penalty paid, if any. If the citation was appealed to the Occupational Safety and Health Appeals Board and a decision has been issued, state the case number and the date of the decision.

26. Has the Federal Occupational Safety and Health Administration cited and assessed penalties against your firm in the past twelve (12) years?

**NOTE: If you have filed an appeal of a citation and the Appeals Board has not yet ruled on your appeal, or if there is a court appeal pending, you need not include information about the citation.**

Yes       No

**5 points for “No”**

**3 points for “Yes” indicating 1 such instances**

**0 points for “Yes” or if more than 2 such instances**

If “yes,” attach a separate signed page describing each citation.

27. Has the EPA or any Air Quality Management District or any Regional Water Quality Control Board cited and assessed penalties against either your firm or the owner of a project on which your firm was the contractor, in the past twelve (12) years?

**NOTE: If you have filed an appeal of a citation and the Appeals Board has not yet ruled on your appeal, or if there is a court appeal pending, you need not include information about the citation.**

Yes       No



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**5 points for “No”**

**3 points for “Yes” indicating 1 such instances**

**0 points for “Yes” or if more than 2 such instances**

If “yes,” attach a separate signed page describing each citation.

28. How often do you require documented safety meetings to be held for construction employees and field supervisors during the course of a project?

---

**5 points for an answer of once each week or more often**

**0 points for any other answer**

29. List your firm’s Experience Modification Rate (EMR) (California workers’ compensation insurance) for each of the past three premium years:

**NOTE: An Experience Modification Rate is issued to your firm annually by your workers’ compensation insurance carrier.**

(2023) \_\_\_\_\_

(2022) \_\_\_\_\_

(2021) \_\_\_\_\_

**5 points for three-year average EMR of .95 or less**

**2 points for three-year average of EMR of more than .95 but no more than 1.00**

**0 points for any other EMR**

If your EMR for any of these three years is or was 1.00 or higher you may, please attach a letter of explanation.

30. Within the last fifteen (15) years has there ever been a period when your firm had employees without workers’ compensation insurance or state-approved self-insurance?

Yes       No

**5 points for “No”**

**0 points for any other answer**

If “yes,” please explain the reason for the absence of workers’ compensation insurance on a separate signed page. If “No,” please provide a statement by your current workers’ compensation insurance carrier that verifies periods of workers’ compensation insurance coverage for the last five years. (If your firm has been in the construction business for less than five years, provide a statement by your workers’ compensation insurance carrier verifying continuous workers’ compensation

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insurance coverage for the period that your firm has been in the construction business.)

***Prevailing Wage Compliance Record***

31. Has there been any occasion during the last fifteen (15) years in which your firm was required to pay either back wages or penalties for your own firm's failure to comply with the **State's** prevailing wage laws?

NOTE: This question refers only to your own firm's violation of prevailing wage laws, not to violations of the prevailing wage laws by a subcontractor.

Yes       No

***5 points for "No"***

***0 points for any other answer***

If "yes", attach a separate signed page or pages, describing the nature of each violation, identifying the name of the project, the date of its completion, the public agency for which it was constructed; the number of employees who were initially underpaid and the amount of back wages and penalties that you were required to pay.

32. During the last fifteen (15) years, has there been any occasion in which your own firm has been penalized or required to pay back wages for failure to comply with the **Federal** Davis-Bacon prevailing wage requirements?

Yes       No

***5 points for "No"***

***0 points for any other answer***

If "yes," attach a separate signed page or pages describing the nature of the violation, identifying the name of the project, the date of its completion, the public agency for which it was constructed; the number of employees who were initially underpaid, the amount of back wages you were required to pay along with the amount of any penalty paid.

**PART III SIMILAR PROJECT EXPERIENCE QUESTIONNAIRE**

Part III is a verification of the answer provided in Part I Essential Requirements. Part IIIA (Contractor Experience Requirements) verifies Question 6.

Respondents whose experience is not verifiable according to the following criteria shall be disqualified as failing to meet the Essential Requirements.

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**Part IIIA—Contractor Experience Requirements**

Contractor shall provide information about four (4) recent comparable projects, all of which must have been successfully completed within the last ten (15) years. All 4 projects must meet the minimum criteria:

1. Minimum project value of \$40,000,000
2. Projects must be similar in size or complexity to any combination of the following project types:
  - a. Public Sector: Recreation/community centers, senior centers, city hall, libraries, aquatic centers, and local agency government centers.
3. At least one (1) of the projects must be LEED Certified.

**General Contractor Experience Requirements: Reference 1**

Project Name: \_\_\_\_\_

Location: \_\_\_\_\_

Owner: \_\_\_\_\_

Owner Representative, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Architect or Engineer, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Description of Project, Scope of Work Performed: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Percentage of Base Contract subcontracted: \_\_\_\_\_

Total Value of Construction breakdown with initial contract award/final contract

sum: \_\_\_\_\_

Original Scheduled Completion Date: \_\_\_\_\_

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Initial Contract time in days:\_\_\_\_\_ Time Extensions granted in Days:\_\_\_\_\_

Days Liquidated damages assessed:\_\_\_\_\_

Actual Date of Completion: \_\_\_\_\_

LEED (Yes / No):\_\_\_\_\_

**General Contractor Experience Requirements: Reference 2**

Project Name: \_\_\_\_\_

Location: \_\_\_\_\_

Owner: \_\_\_\_\_

Owner Representative, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Architect or Engineer, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Description of Project, Scope of Work Performed: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Percentage of Base Contract subcontracted: \_\_\_\_\_

Total Value of Construction breakdown with initial contract award/final contract

sum: \_\_\_\_\_

Original Scheduled Completion Date: \_\_\_\_\_

Initial Contract time in days:\_\_\_\_\_ Time Extensions granted in Days:\_\_\_\_\_

Days Liquidated damages assessed:\_\_\_\_\_

Actual Date of Completion: \_\_\_\_\_

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LEED (Yes / No): \_\_\_\_\_

**General Contractor Experience Requirements: Reference 3**

Project Name: \_\_\_\_\_

Location: \_\_\_\_\_

Owner: \_\_\_\_\_

Owner Representative, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Architect or Engineer, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Description of Project, Scope of Work Performed: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Percentage of Base Contract subcontracted: \_\_\_\_\_

Total Value of Construction breakdown with initial contract award/final contract  
sum: \_\_\_\_\_

Original Scheduled Completion Date: \_\_\_\_\_

Initial Contract time in days: \_\_\_\_\_ Time Extensions granted in Days: \_\_\_\_\_

Days Liquidated damages assessed: \_\_\_\_\_

Actual Date of Completion: \_\_\_\_\_

LEED (Yes / No): \_\_\_\_\_

**General Contractor Experience Requirements: Reference 4**

Project Name: \_\_\_\_\_

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PRE-QUALIFICATION OF GENERAL CONTRACTORS**

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---

Location: \_\_\_\_\_

Owner: \_\_\_\_\_

Owner Representative, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Architect or Engineer, address, email and phone number: \_\_\_\_\_

\_\_\_\_\_

Description of Project, Scope of Work Performed: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Percentage of Base Contract subcontracted: \_\_\_\_\_

Total Value of Construction breakdown with initial contract award/final contract  
sum: \_\_\_\_\_

Original Scheduled Completion Date: \_\_\_\_\_

Initial Contract time in days: \_\_\_\_\_ Time Extensions granted in Days: \_\_\_\_\_

Days Liquidated damages assessed: \_\_\_\_\_

Actual Date of Completion: \_\_\_\_\_

LEED (Yes / No): \_\_\_\_\_

**PART IV ORGANIZATIONAL RESOURCES**

Staff Roster/Functions

1. Contractor shall furnish an organization chart that includes all supervisory positions anticipated to be assigned to the Project. Indicate therein which ones are full time on site and which are part time.

List key members of your staff whom you consider candidates to be assigned to work as a full-time team member resident on this Project and complete all requested information as shown below.

Key, full-time candidate team members must include, without limitation:

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1. Project Manager and 2. Superintendent. Use separate sheets of paper that contain all of the following information:

Name: \_\_\_\_\_

Job Title: \_\_\_\_\_

Number of Years with Firm: \_\_\_\_\_

Proposed Function on the Project: \_\_\_\_\_

Number of Years in Current Position: \_\_\_\_\_

Number of Projects (in job function) Completed: \_\_\_\_\_

Number of Years in Construction Industry: \_\_\_\_\_

Include a minimum of two (2) projects, in a supervisory role, of similar type and scale as described in Section III: Similar Project Experience Questionnaire. On separate sheet provide project description, value, dates of construction, references and reference contact information for each project.

I, the undersigned, certify and declare that I have read all the foregoing answers to this pre-qualification questionnaire and know their contents. The matters stated in the questionnaire answers are true of my own knowledge and belief, except as to those matters stated on information and belief, and as to those matters I believe them to be true. I declare under penalty of perjury under the laws of the State of California, that the foregoing is correct.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name

**CITY OF FOSTER CITY  
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**SCORING INSTRUCTIONS**

The scorable questions are in two sections above:

Part II – Section B History of the business and organizational performance;

Part II – Section C Compliance with occupational safety and health laws, workers' compensation and other labor legislation;

The Scores Needed for Pre-Qualification

To pre-qualify, a contractor would be required to qualify under Part I and Part IV, and then have a passing grade within each of the two large categories in Part II referred to above.

Section B, "History of the business and organizational performance,"

For the 14 scorable questions, the prospective contractor is required to meet a passing score of 51 on this portion of the questionnaire (of a maximum score of 68 on this portion of the questionnaire).

Section C, "Compliance with occupational safety and health laws, workers' compensation and other labor legislation"

For the 8 scorable questions, the prospective contractor is required to meet a passing score of 27 on this portion of the questionnaire (of a maximum score of 40 points on this portion of the questionnaire).

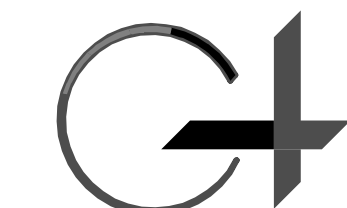
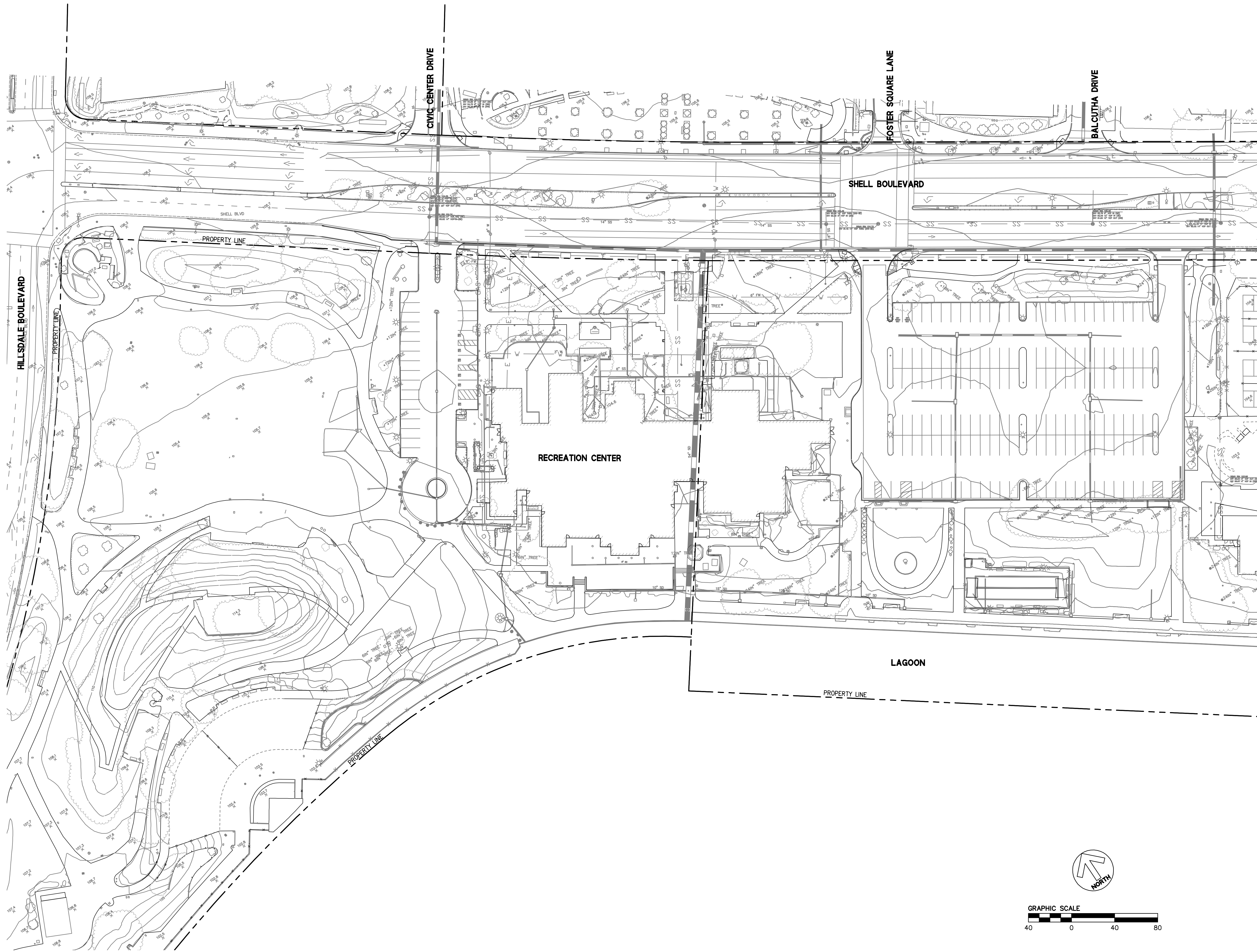


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**ATTACHMENT A**

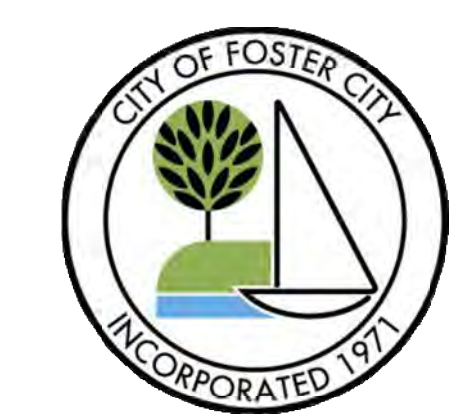
**PROJECT REFERENCE DRAWINGS  
AND DRAFT RENDERINGS**



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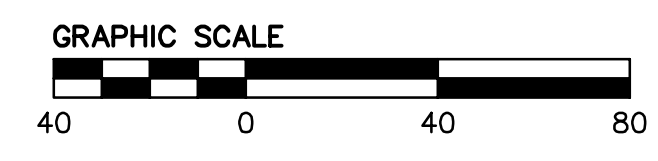
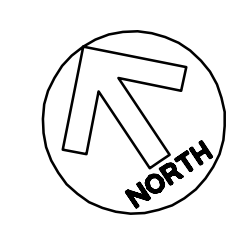
650 SHELL BLVD.  
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 CA 94404

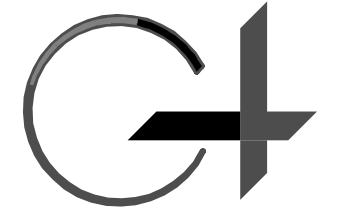
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Project Arch.	-
CA REG.	-
PROJECT :	22591-01
ISSUE	DATE
CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
DESIGN DEVELOPMENT	12/18/2023

SHEET TITLE AND NO.  
**EXISTING  
 CONDITIONS PLAN**

**C1.01**





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PROJECT :	22591-01
ISSUE	DATE
CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
DESIGN DEVELOPMENT	12/18/2023

SHEET TITLE AND NO.  
**DEMOLITION  
 PLAN**

**C2.00**

**DEMOLITION LEGEND:**

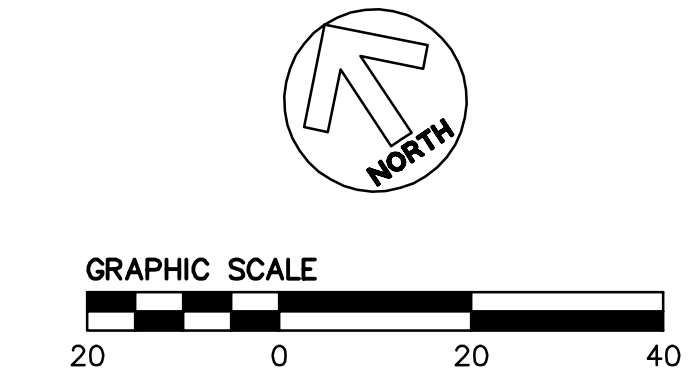
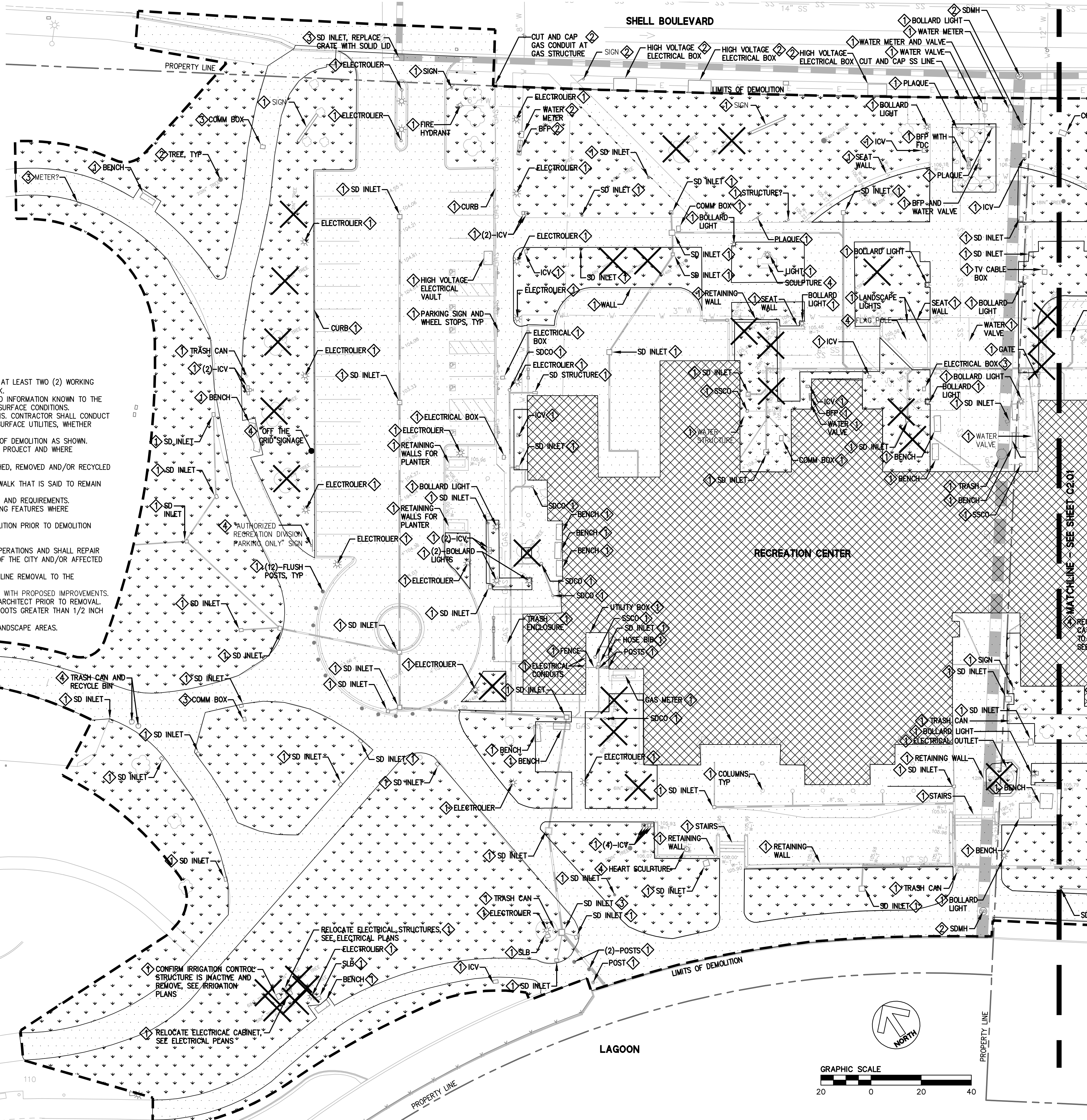
- HARDSCAPE TO BE DEMOLISHED AND REMOVED (INCLUDING AC PAVEMENT, AB, SIDEWALK, PLANTERS, MISC. CONCRETE)
- LANDSCAPE TO BE DEMOLISHED, TREES AND SHRUBS SHALL BE MULCHED (2" MAX CHIP SIZE) AND STOCKPILED FOR REUSE, TOP SOIL TO BE STRIPED AND STOCKPILED FOR REUSE
- BUILDING/STRUCTURE, SLAB AND FOUNDATION TO BE DEMOLISHED
- EXISTING UTILITY TO BE DEMOLISHED AND REMOVED
- EXISTING CURB TO BE DEMOLISHED AND REMOVED
- LIMITS OF DEMOLITION
- EXISTING TREE TO BE REMOVED

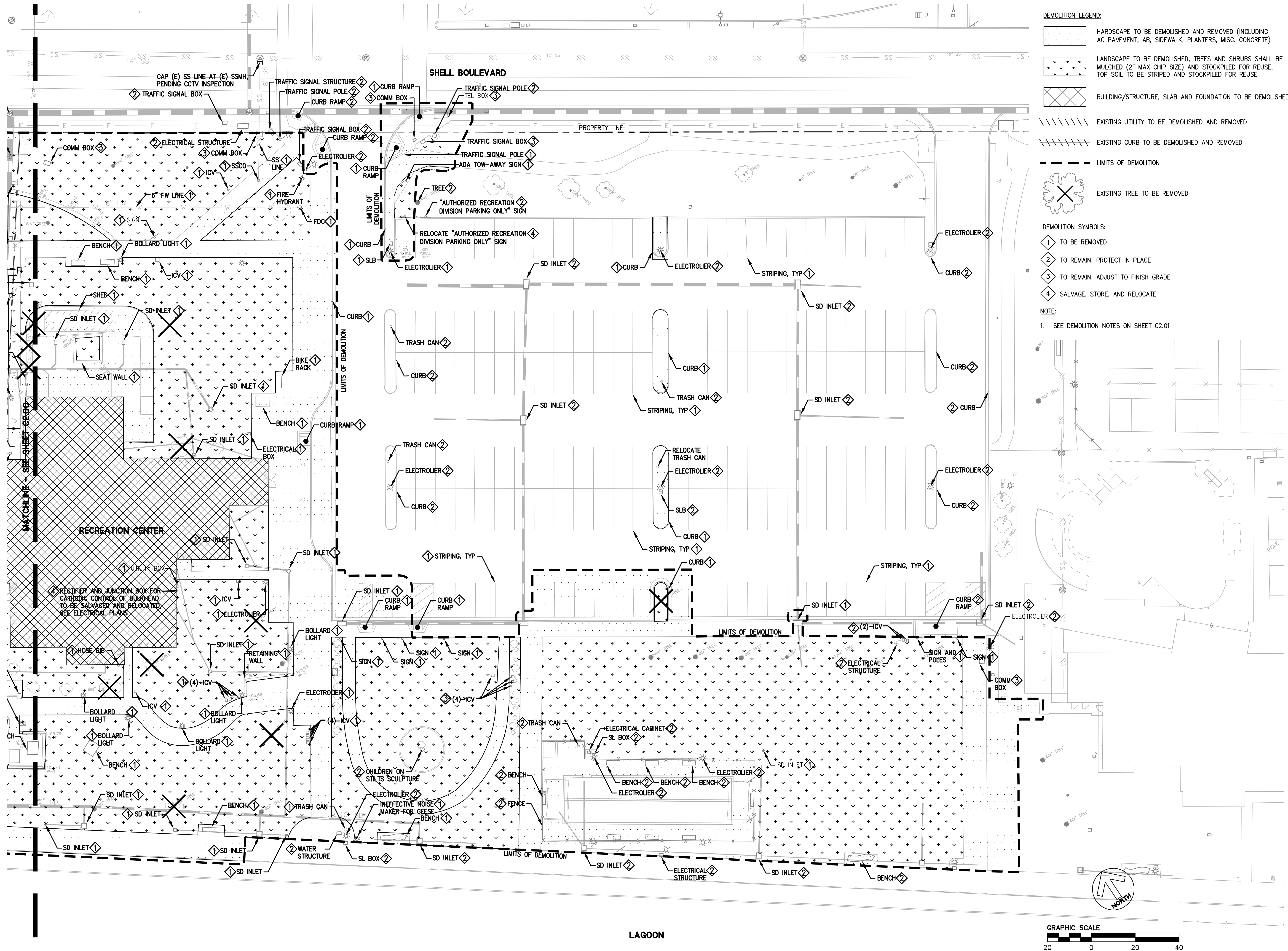
**DEMOLITION SYMBOLS:**

- 1 TO BE REMOVED
- 2 TO REMAIN, PROTECT IN PLACE
- 3 TO REMAIN, ADJUST TO FINISH GRADE
- 4 SALVAGE, STORE, AND RELOCATE

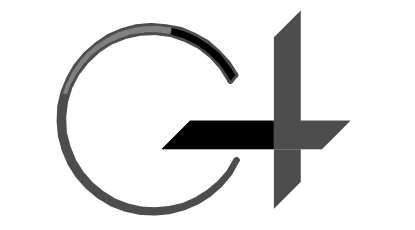
**DEMOLITION NOTES:**

1. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 OR (800) 227-2600 AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, EXCAVATION OR GRADING WORK.
2. EXISTING SUBSURFACE UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM RECORD INFORMATION KNOWN TO THE ENGINEER. THESE PLANS ARE NOT MEANT TO BE A FULL CATALOG OF EXISTING SUBSURFACE CONDITIONS. CONTRACTOR SHALL CONDUCT A FULL CATALOG OF EXISTING SUBSURFACE CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS TO VERIFY ALL LOCATIONS AND ELEVATIONS OF EXISTING SUBSURFACE UTILITIES, WHETHER SHOWN ON PLANS OR NOT.
3. DEMOLISH EXISTING STRUCTURES, UTILITIES, AND OTHER FEATURES WITHIN THE LIMIT OF DEMOLITION AS SHOWN. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION WITHIN THE LIMITS OF THE PROPOSED PROJECT AND WHERE APPLICABLE ON THESE PLANS.
4. ALL HARDSCAPE WITHIN THE LIMITS OF DEMOLITION AS INDICATED IS TO BE DEMOLISHED, REMOVED AND/OR RECYCLED UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL REPLACE ANY DAMAGED STRUCTURE, PAVEMENT, CURB OR SIDEWALK THAT IS SAID TO REMAIN AND IS DAMAGED DURING THE COURSE OF CONSTRUCTION.
6. CONTRACTOR TO COORDINATE WITH PG&E FOR ALL TEMPORARY POWER CONNECTIONS AND REQUIREMENTS.
7. REMOVE ALL INTERIOR FENCING, FENCE POSTS FOUNDATIONS, AND OTHER LANDSCAPING FEATURES WHERE APPLICABLE.
8. AN APPROVED TEMPORARY FENCE SHALL BE INSTALLED ALONG THE LIMITS OF DEMOLITION PRIOR TO DEMOLITION WHERE REQUIRED. GATES SHALL BE KEPT LOCKED DURING NON-WORKING HOURS.
9. CONTRACTOR SHALL PROVIDE EMERGENCY VEHICULAR ACCESS TO THE SITE.
10. THE CONTRACTOR SHALL PROCEED WITH DUE CAUTION DURING ALL UNDERGROUND OPERATIONS AND SHALL REPAIR OR REPLACE ALL UTILITIES DAMAGED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY AND/OR AFFECTED AGENCIES.
11. ALL TRENCHING WITHIN STREETS SHALL BE BACKFILLED AND PATCHED UPON UTILITY LINE REMOVAL TO THE SATISFACTION OF THE CITY.
12. CONTRACTOR TO REROUTE EXISTING IRRIGATION SYSTEM IN USE THAT IS IN CONFLICT WITH PROPOSED IMPROVEMENTS.
13. SEE LANDSCAPE PLAN FOR TREE REMOVAL. CONFIRM WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
14. TREES AND SHRUBS DESIGNATED FOR REMOVAL SHALL HAVE ROOTBALLS AND ANY ROOTS GREATER THAN 1/2 INCH DIAMETER REMOVED.
15. DO NOT PLACE RECYCLED CONCRETE, AC, AB OR OTHER MATERIALS IN PROPOSED LANDSCAPE AREAS.





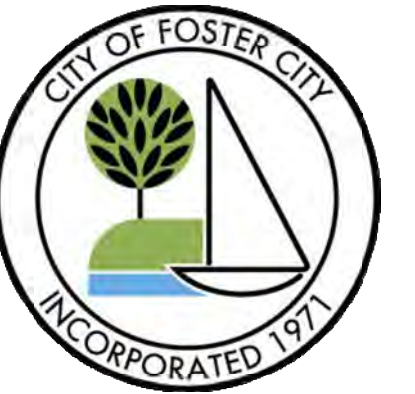
- DEMOLITION LEGEND:**
- HARDSCAPE TO BE DEMOLISHED AND REMOVED (INCLUDING AC PAVEMENT, AB, SIDEWALK, PLANTERS, MISC. CONCRETE)
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- 1 TO BE REMOVED
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  - 3 TO REMAIN, ADJUST TO FINISH GRADE
  - 4 SALVAGE, STORE, AND RELOCATE
- NOTE:**
- SEE DEMOLITION NOTES ON SHEET C2.01



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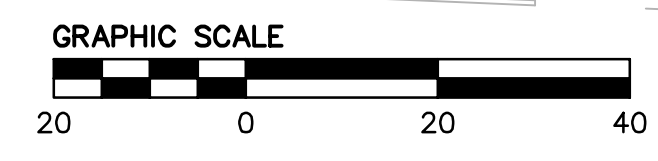
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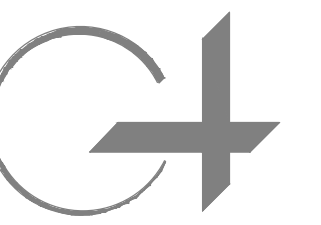
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PROJECT :	22591-01
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CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
DESIGN DEVELOPMENT	12/18/2023

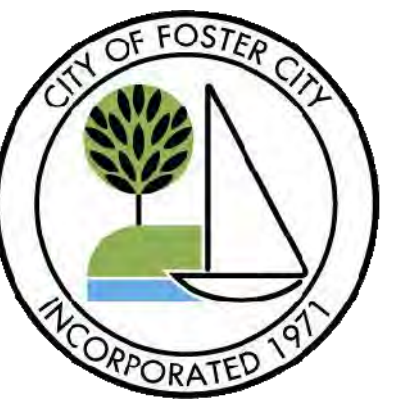
SHEET TITLE AND NO.  
**DEMOLITION  
 PLAN**

**C2.01**





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SO. SAN FRANCISCO  
CA 94080 USA  
650-871-0709

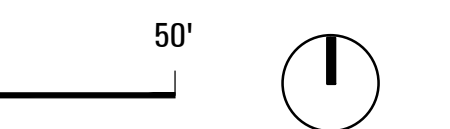


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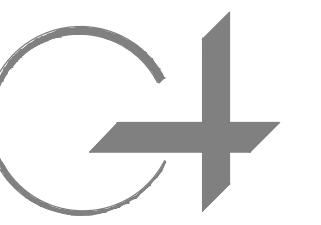
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CA REG. ---  
PROJECT: 22591-01

ISSUE	DATE
CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
DD PRICING SET	11/09/2023
DD100	12/18/2023

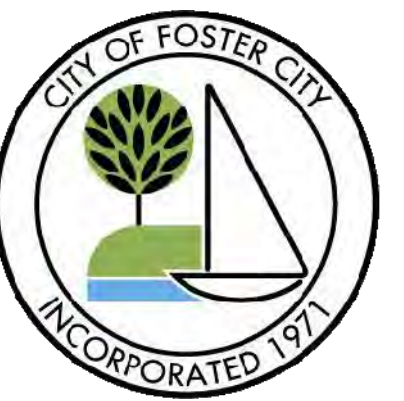


SHEET TITLE AND NO.  
EXISTING  
CONDITIONS  
AERIAL

**L0.00**



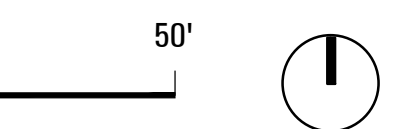
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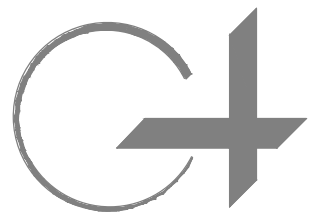
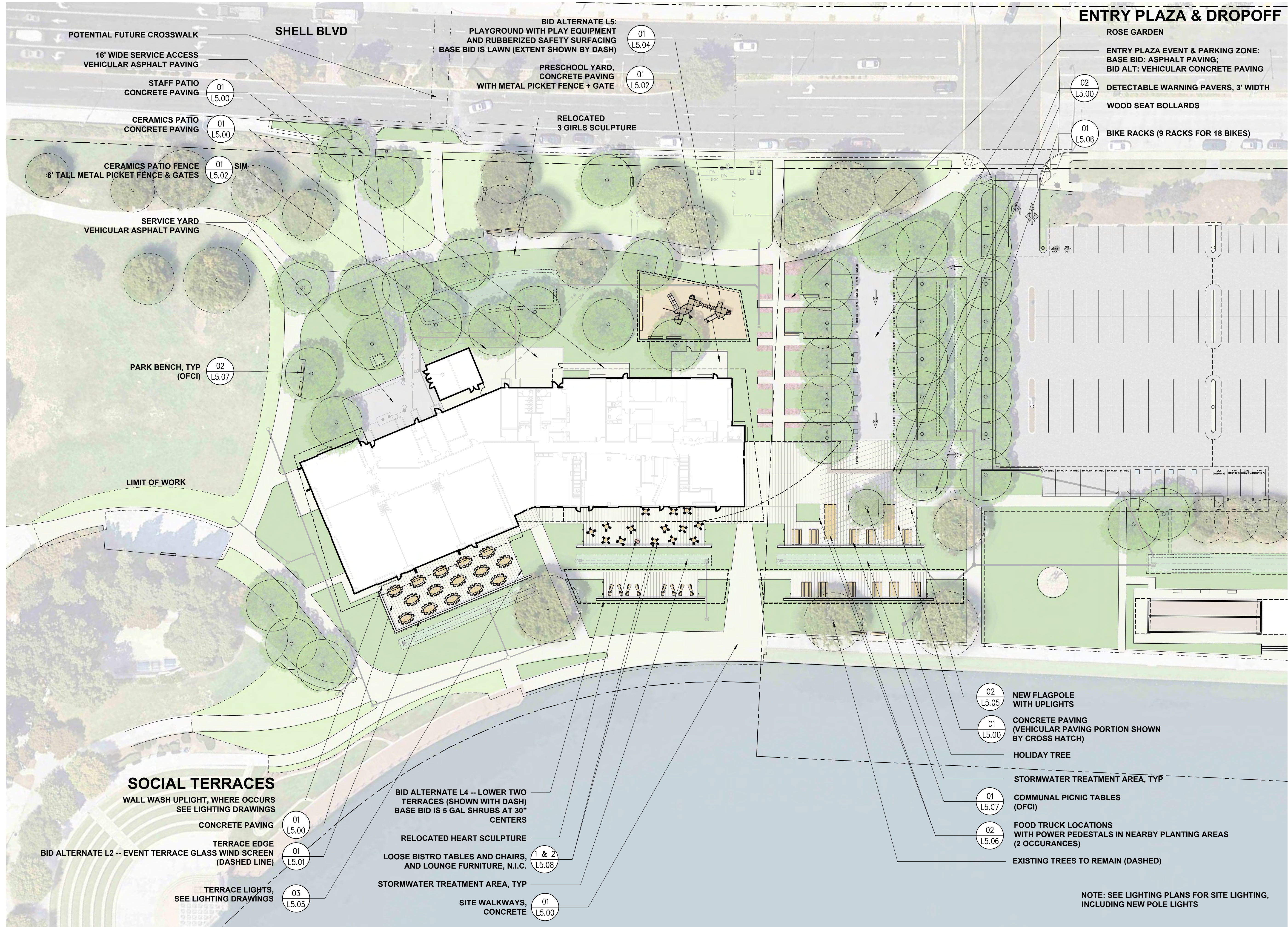
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DD PRICING SET	11/09/2023
DD100	12/18/2023



SHEET TITLE AND NO.  
 ILLUSTRATIVE  
 PLAN

**L0.01**



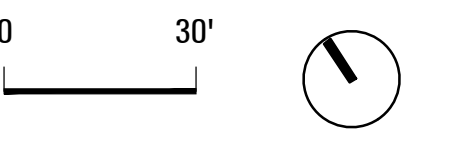
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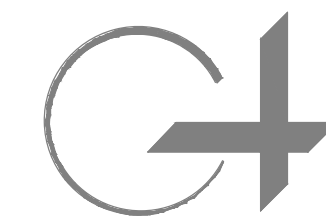
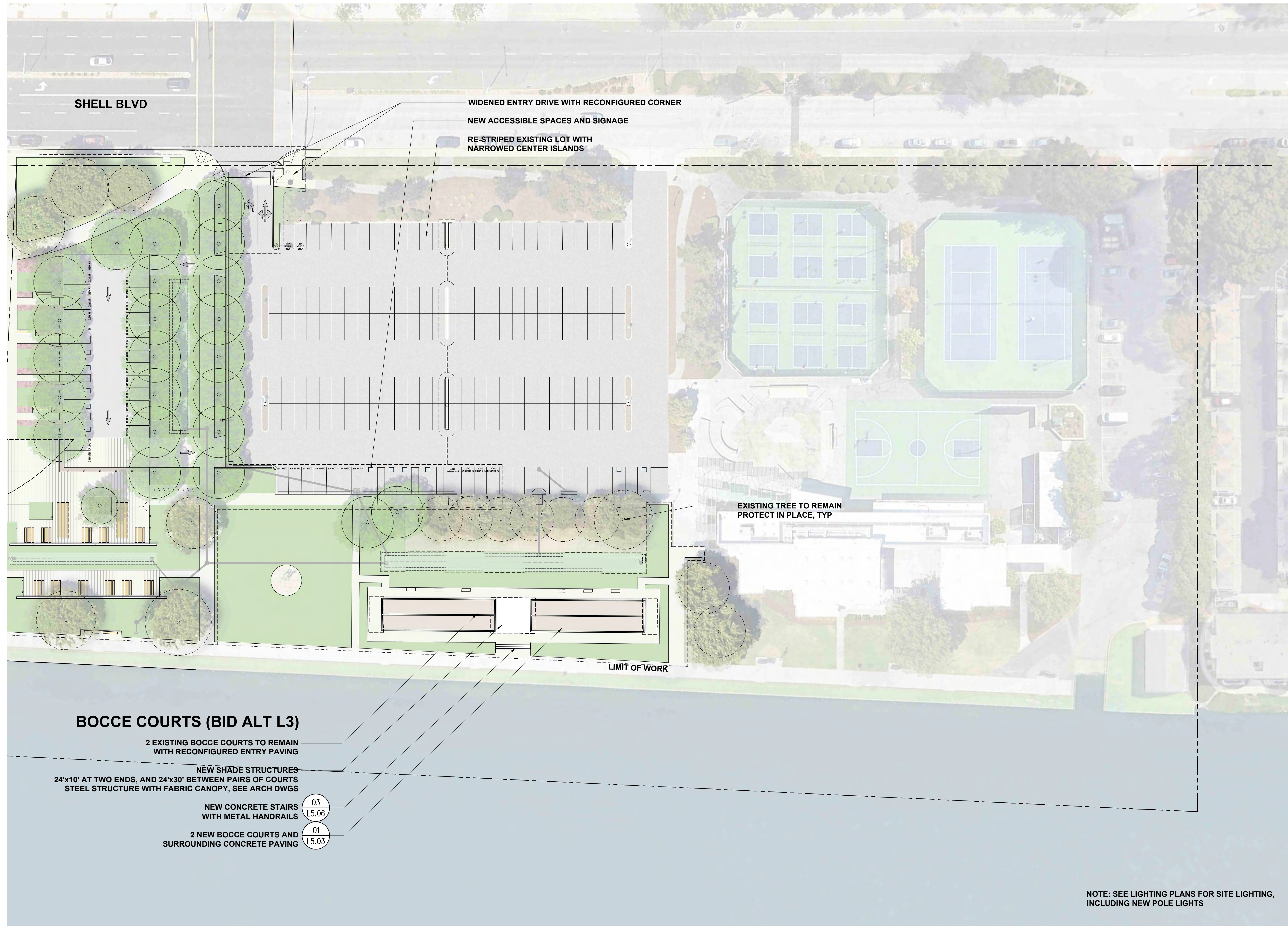
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CA REG.	---
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CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
DD PRICING SET	11/09/2023
DD100	12/18/2023



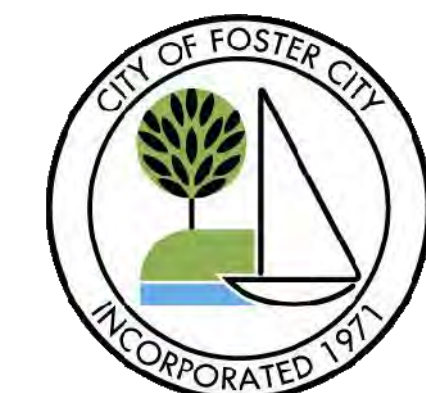
SHEET TITLE AND NO.  
 LAYOUT PLAN

**L1.01**

NOTE: SEE LIGHTING PLANS FOR SITE LIGHTING,  
 INCLUDING NEW POLE LIGHTS



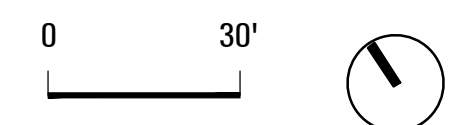
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SCHEMATIC DESIGN	09/22/2023
DD PRICING SET	11/09/2023
DD100	12/18/2023

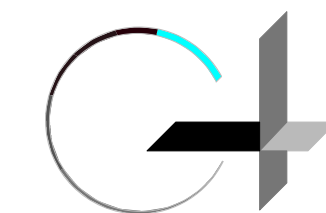


SHEET TITLE AND NO.  
 LAYOUT PLAN

NOTE: SEE LIGHTING PLANS FOR SITE LIGHTING,  
 INCLUDING NEW POLE LIGHTS

**L1.02**





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SCHEMATIC DESIGN	09/22/2023
DESIGN DEVELOPMENT	12/18/2023

SHEET TITLE AND NO.  
**FLOOR PLAN-  
 FIRST FLOOR**

**A2.4-1**

**SHEET NOTES**

- REFER TO SHEET A0.2 FOR ARCHITECTURAL SYMBOLS, WALL TYPE LEGEND, AND ABBREVIATIONS.
- COORDINATE ALL ACCESSIBILITY COMPLIANCE REQUIREMENTS, SEE SHEET A0.5 SERIES.
- REFER TO SHEET A2.1 SERIES FOR GRID DIMENSIONS.
- REFER TO SHEET A2.2 SERIES FOR CURB AND SLAB DIMENSIONS.
- REFER TO SHEET A2.5 SERIES FOR ENLARGED PLANS.
- REFER TO SHEET A4 SERIES FOR FINISH PLANS.
- REFER TO SHEET A2.6-1 FOR DOOR SCHEDULE.
- REFER TO SHEET A3.1 & A3.2 SERIES FOR WINDOW TYPES AND SCHEDULE.
- REFER TO SHEET A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS.
- REFER TO SHEET A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS.
- REFER TO SHEET A8.5 SERIES FOR SKYLIGHT DETAILS.
- ALL EXTERIOR AND INTERIOR CONCRETE WALLS AND CURBS EXPOSED TO PUBLIC VIEW SHALL BE ARCHITECTURAL CONCRETE.
- ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC SHALL BE A.E.S.S.
- COORDINATE PENETRATIONS IN WALLS AND FLOOR WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL AND TELECOM.
- WHERE WALL TAG IS NOT SHOWN, PROVIDE FULL HEIGHT TYPE C24A OR F14A IN FURRED WALL CONDITION OR THICKNESS REQUIRED TO MAINTAIN ALIGNMENT TO ADJACENT WALL.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR SHELVES, CABINETS, BRACKETS, GRAB BARS, HANDRAILS, ETC. SEE A9.0-1.
- REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL KITCHEN INFORMATION
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

**WINDOW AND DOOR LEGEND**

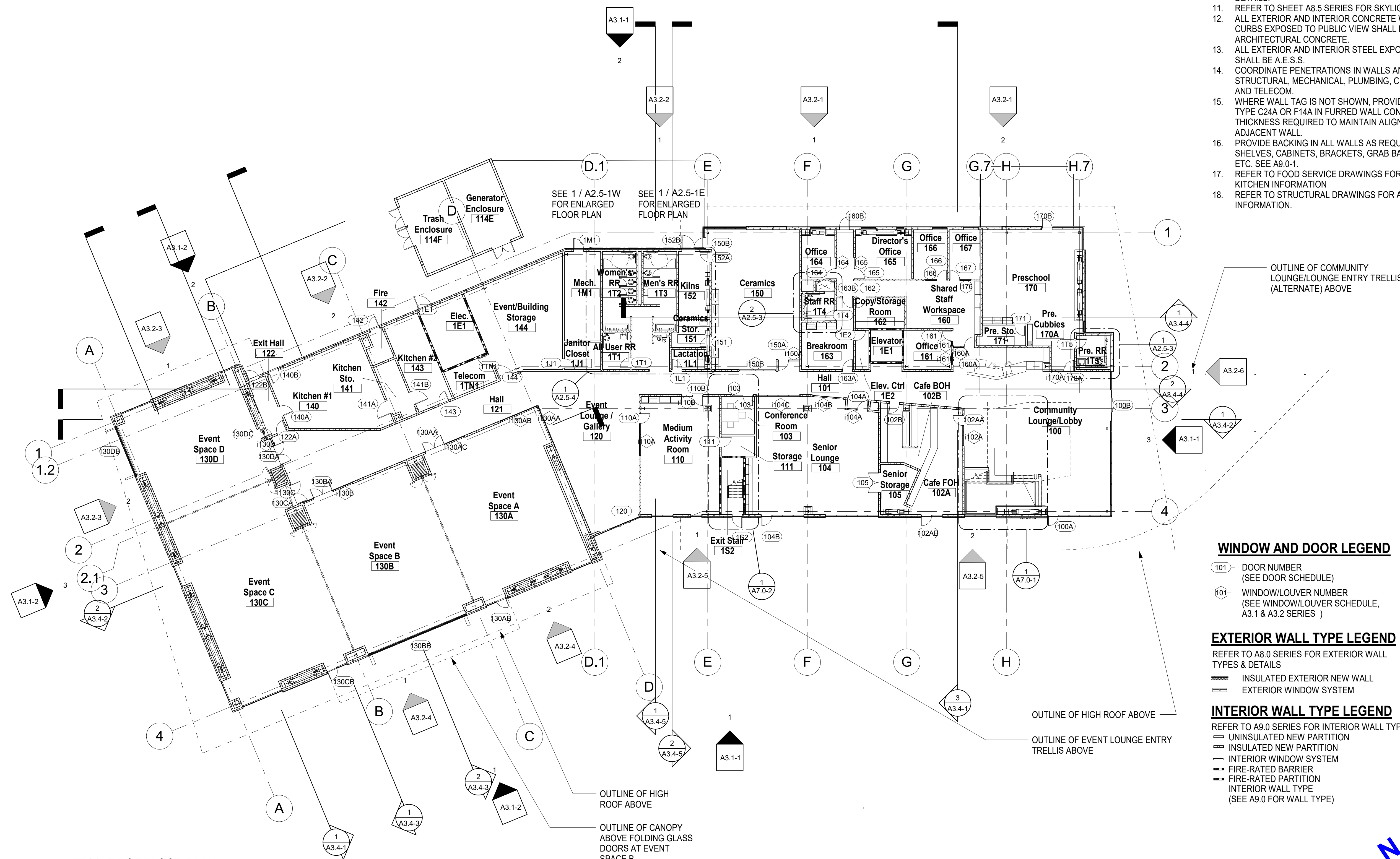
- 101 DOOR NUMBER (SEE DOOR SCHEDULE)
- 101 WINDOW/LOUVER NUMBER (SEE WINDOW/LOUVER SCHEDULE, A3.1 & A3.2 SERIES )

**EXTERIOR WALL TYPE LEGEND**

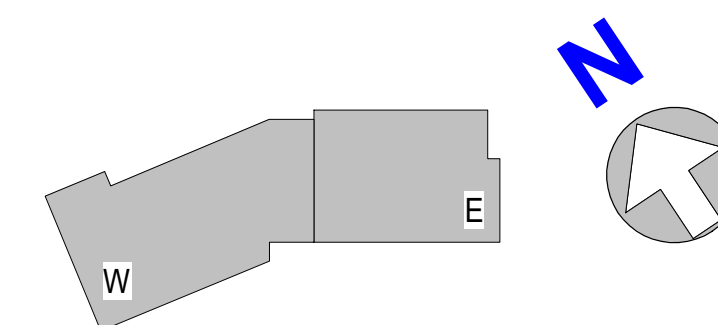
- REFER TO A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS
- INSULATED EXTERIOR NEW WALL
  - EXTERIOR WINDOW SYSTEM

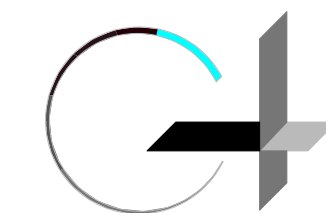
**INTERIOR WALL TYPE LEGEND**

- REFER TO A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS
- UNINSULATED NEW PARTITION
  - INSULATED NEW PARTITION
  - INTERIOR WINDOW SYSTEM
  - FIRE-RATED BARRIER
  - FIRE-RATED PARTITION
  - INTERIOR WALL TYPE (SEE A9.0 FOR WALL TYPE)



**1 FP01- FIRST FLOOR PLAN**  
 1/16" = 1'-0"





GROUP 4

ARCHITECTURE  
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SHEET TITLE AND NO.

**FLOOR PLAN-  
SECOND FLOOR &  
LOW ROOF PLAN**

**A2.4-2**

**SHEET NOTES**

- REFER TO SHEET A0.2 FOR ARCHITECTURAL SYMBOLS, WALL TYPE LEGEND, AND ABBREVIATIONS.
- COORDINATE ALL ACCESSIBILITY COMPLIANCE REQUIREMENTS, SEE SHEET A0.5 SERIES.
- REFER TO SHEET A2.1 SERIES FOR GRID DIMENSIONS.
- REFER TO SHEET A2.2 SERIES FOR CURB AND SLAB DIMENSIONS.
- REFER TO SHEET A2.5 SERIES FOR ENLARGED PLANS.
- REFER TO SHEET A4 SERIES FOR FINISH PLANS.
- REFER TO SHEET A2.6-1 FOR DOOR SCHEDULE.
- REFER TO SHEET A3.1 & A3.2 SERIES FOR WINDOW TYPES AND SCHEDULE.
- REFER TO SHEET A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS.
- REFER TO SHEET A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS.
- REFER TO SHEET A8.5 SERIES FOR SKYLIGHT DETAILS.
- ALL EXTERIOR AND INTERIOR CONCRETE WALLS AND CURBS EXPOSED TO PUBLIC VIEW SHALL BE ARCHITECTURAL CONCRETE.
- ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC SHALL BE A.E.S.S.
- COORDINATE PENETRATIONS IN WALLS AND FLOOR WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL AND TELECOM.
- WHERE WALL TAG IS NOT SHOWN, PROVIDE FULL HEIGHT TYPE C24A OR F14A IN FURRED WALL CONDITION OR THICKNESS REQUIRED TO MAINTAIN ALIGNMENT TO ADJACENT WALL.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR SHELVES, CABINETS, BRACKETS, GRAB BARS, HANDRAILS, ETC. SEE A9.0-1.
- REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL KITCHEN INFORMATION
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

**(ALTERNATE A1) COMMUNITY LOUNGE/LOBBY ENTRY TRELLIS:**  
AESS TRELLIS WITH WOOD LOOK SLAT & TEMPERED GLAZING ABOVE FOR WEATHER PROTECTION  
BASE: FIRST 10' FROM ENTRANCE  
BID ALTERNATE: EXPANDED TRELLIS

**WINDOW AND DOOR LEGEND**

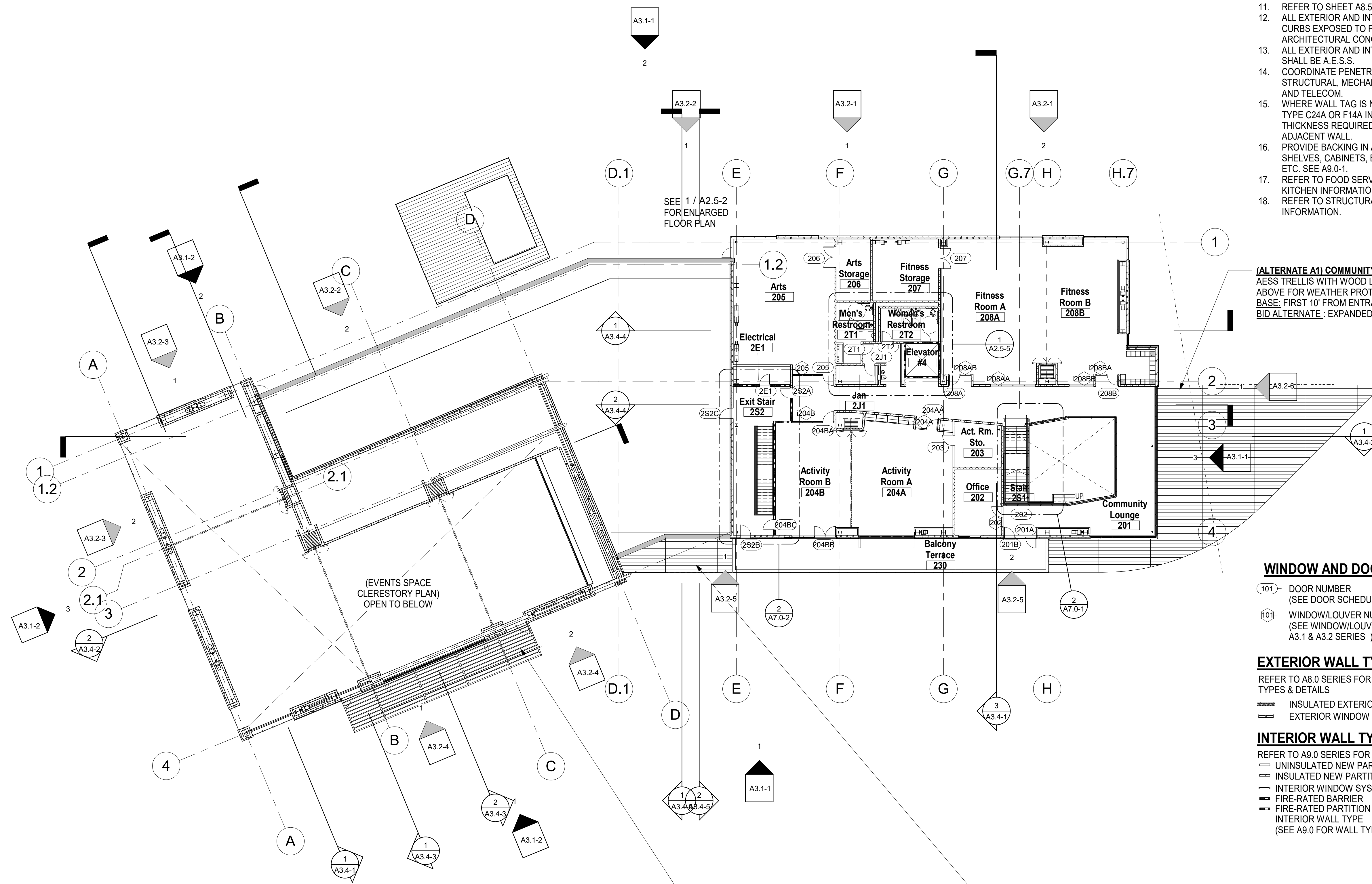
- 101 DOOR NUMBER (SEE DOOR SCHEDULE)
- 101 WINDOW/LOUVER NUMBER (SEE WINDOW/LOUVER SCHEDULE, A3.1 & A3.2 SERIES)

**EXTERIOR WALL TYPE LEGEND**

- REFER TO A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS
- INSULATED EXTERIOR NEW WALL
  - EXTERIOR WINDOW SYSTEM

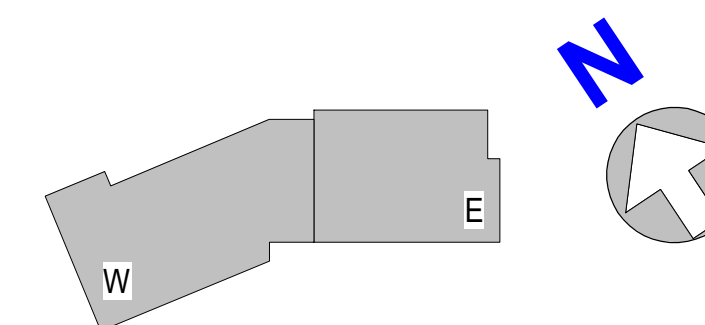
**INTERIOR WALL TYPE LEGEND**

- REFER TO A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS
- UNINSULATED NEW PARTITION
  - INSULATED NEW PARTITION
  - INTERIOR WINDOW SYSTEM
  - FIRE-RATED BARRIER
  - FIRE-RATED PARTITION
  - INTERIOR WALL TYPE (SEE A9.0 FOR WALL TYPE)

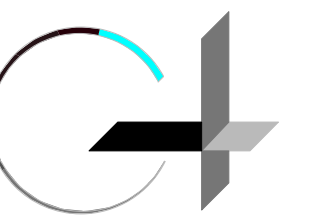


**1 FP02 - SECOND FLOOR PLAN**  
1/16" = 1'-0"

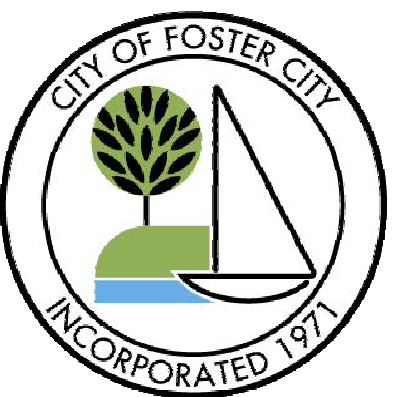
EVENT SPACE TRELLIS: AESS STEEL TRELLIS WITH WOOD LOOK SLATS  
EVENT LOUNGE TRELLIS: AESS STEEL TRELLIS WITH WOOD LOOK SLATS & TEMPERED GLAZING ABOVE FOR WEATHER PROTECTION



**SHEET NOTES**



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 211 LINDEN AVENUE  
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 CA 94080 USA  
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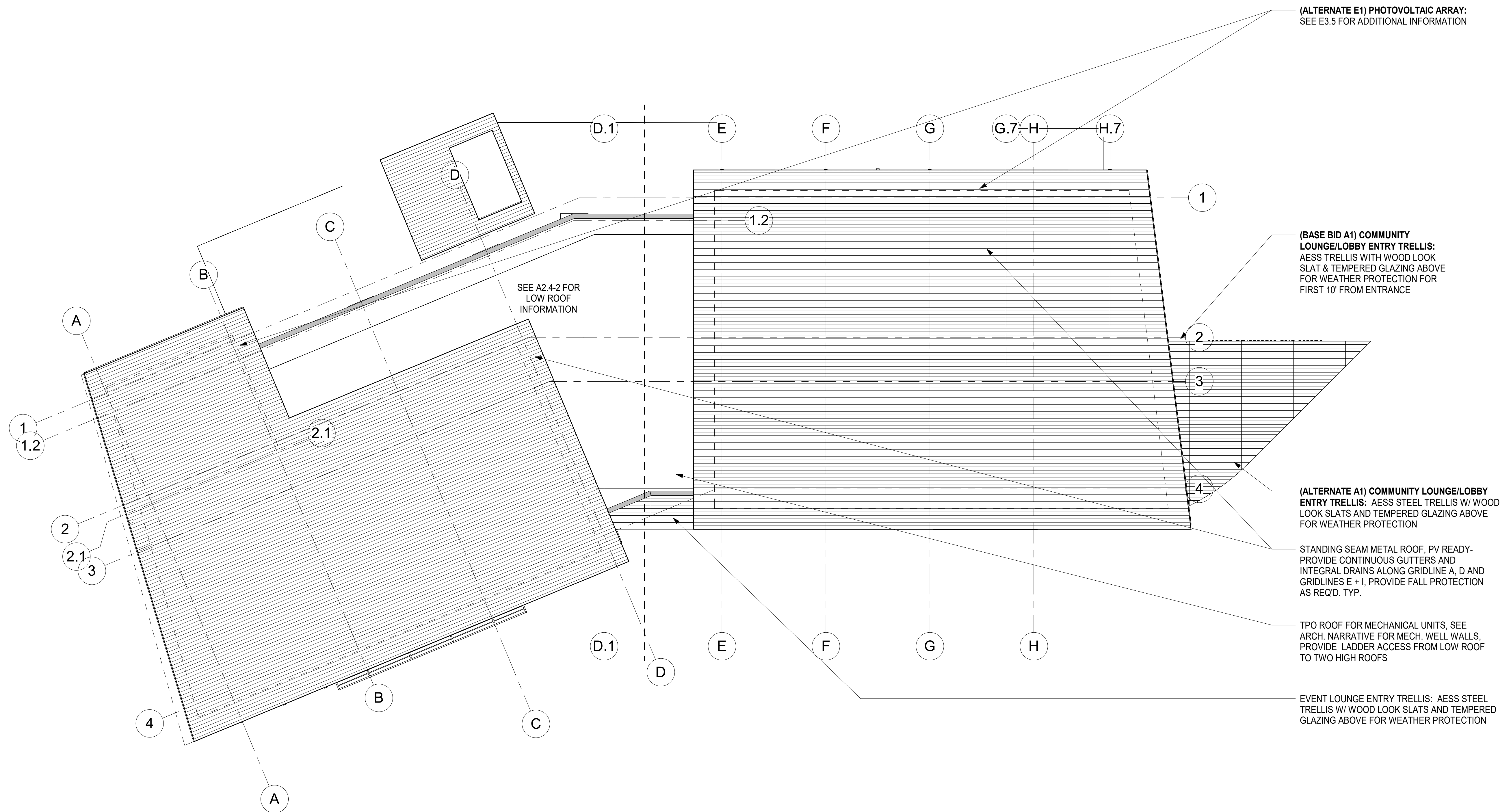
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 650 SHELL BLVD.  
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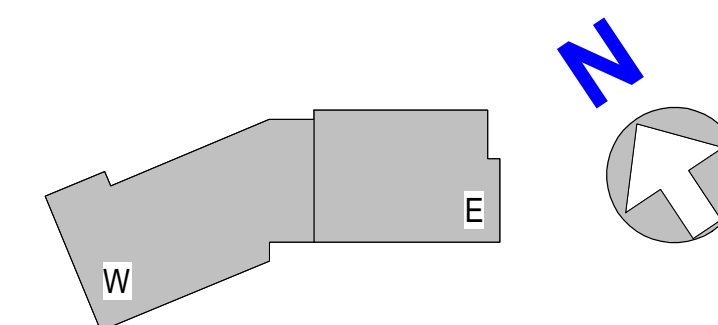
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CA REG.	...
PROJECT:	22591-01
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CONCEPTUAL DESIGN	03/31/2023
SCHEMATIC DESIGN	09/22/2023
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SHEET TITLE AND NO.  
 ROOF PLAN

**A2.4-3**

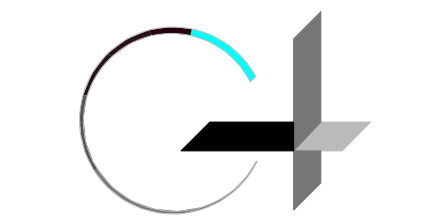


1 RP- ROOF PLAN  
 1/16" = 1'-0"



**SHEET NOTES**

1. REFER TO SHEET A0.2 FOR ARCHITECTURAL SYMBOLS, WALL TYPE LEGEND, AND ABBREVIATIONS.
2. COORDINATE ALL ACCESSIBILITY COMPLIANCE REQUIREMENTS, SEE SHEET A0.5 SERIES.
3. REFER TO SHEET A2.1-1 FOR GRID DIMENSIONS.
4. REFER TO SHEET A2.2 SERIES FOR CURB AND SLAB DIMENSIONS.
5. REFER TO SHEET A9.0 SERIES FOR INTERIOR PARTITION TYPES & DETAILS.
6. REFER TO SHEET A4 SERIES FOR FINISH PLANS.
7. REFER TO SHEET A2.6-1 FOR DOOR SCHEDULE.
8. REFER TO SHEET A3.1 & A3.2 SERIES FOR WINDOW TYPES AND SCHEDULE.
9. REFER TO SHEET A8.5 SERIES FOR SKYLIGHT DETAILS.
10. ALL EXTERIOR AND INTERIOR CONCRETE WALLS AND CURBS EXPOSED TO PUBLIC VIEW SHALL BE ARCHITECTURAL CONCRETE.
11. ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC SHALL BE A.E.S.S. REFER TO A2.8-0 FOR A.E.S.S. CATEGORIES.
12. COORDINATE PENETRATIONS IN WALLS AND FLOOR WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL AND TELECOM.
13. WHERE WALL TAG IS NOT SHOWN, PROVIDE FULL HEIGHT TYPE C24 OR F14 IN FURRED WALL CONDITION OR THICKNESS REQUIRED TO MAINTAIN ALIGNMENT TO ADJACENT WALL.
14. PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR SHELVES, CABINETS, BRACKETS, GRAB BARS, HANDRAILS, ETC. SEE A9.0-1.
15. FOR PANIC HARDWARE LOCATIONS AND OTHER DOOR INFORMATION, SEE DOOR TAG AND DOOR SCHEDULE.
16. REFER TO SHEET A0.5 FOR ACCESSIBLE DOOR CLEARANCES.



**GROUP 4**  
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 211 LINDEN AVENUE  
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DESIGN DEVELOPMENT	12/18/2023

SHEET TITLE AND NO.  
 ENLARGED PLANS -  
 FIRST FLOOR -  
 EAST

**A2.5-1E**

**INTERIOR WALL TYPE LEGEND**

REFER TO A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS

- UNINSULATED NEW PARTITION
- INSULATED NEW PARTITION
- INTERIOR WINDOW SYSTEM
- FIRE-RATED BARRIER
- FIRE-RATED PARTITION
- INTERIOR WALL TYPE (SEE A9.0 FOR WALL TYPE)

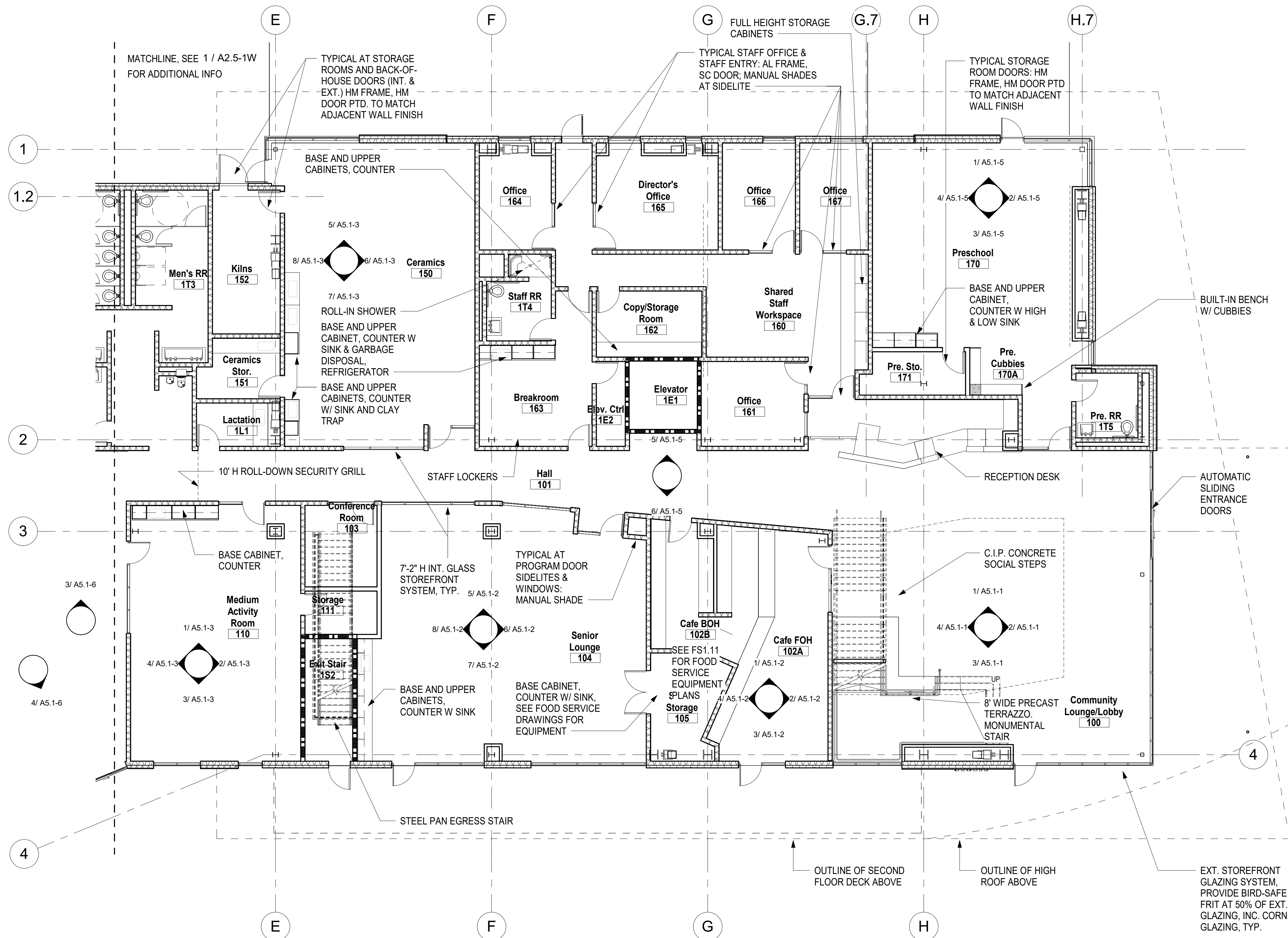
**EXTERIOR WALL TYPE LEGEND**

REFER TO A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS

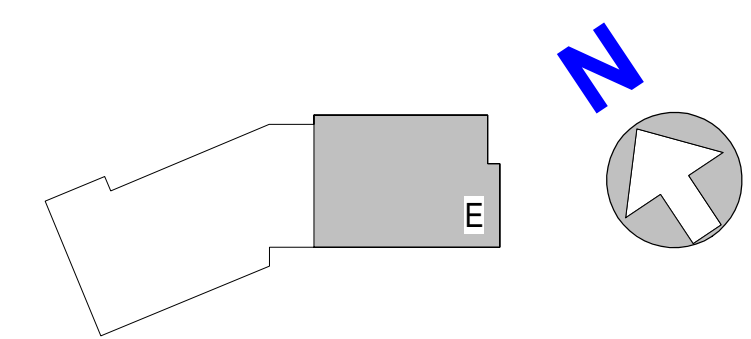
- INSULATED EXTERIOR NEW WALL
- EXTERIOR WINDOW SYSTEM
- EXTERIOR WALL TYPE (SEE A8.0 FOR WALL TYPE)

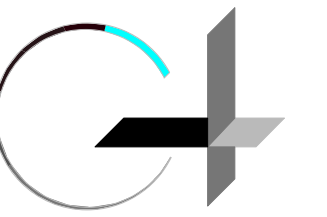
**WINDOW AND DOOR LEGEND**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- WINDOW/LOUVER NUMBER (SEE WINDOW/LOUVER SCHEDULE, A3.1 & A3.2 SERIES)



**1** FP01- FIRST FLOOR PLAN ENLARGED EAST  
 1/8" = 1'-0"

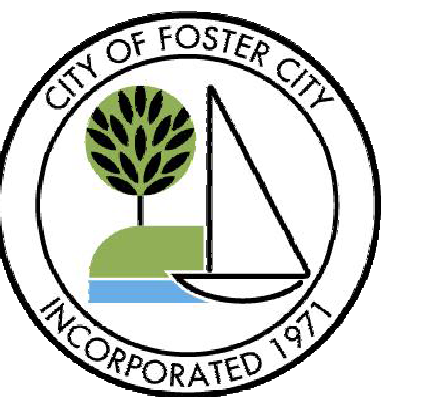




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DESIGN DEVELOPMENT	12/18/2023

SHEET TITLE AND NO.  
ENLARGED PLANS -  
FIRST FLOOR -  
WEST

A2.5-1W

**SHEET NOTES**

- REFER TO SHEET A0.2 FOR ARCHITECTURAL SYMBOLS, WALL TYPE LEGEND, AND ABBREVIATIONS.
- COORDINATE ALL ACCESSIBILITY COMPLIANCE REQUIREMENTS, SEE SHEET A0.5 SERIES.
- REFER TO SHEET A2.1-1 FOR GRID DIMENSIONS.
- REFER TO SHEET A2.2 SERIES FOR CURB AND SLAB DIMENSIONS.
- REFER TO SHEET A9.0 SERIES FOR INTERIOR PARTITION TYPES & DETAILS.
- REFER TO SHEET A4 SERIES FOR FINISH PLANS.
- REFER TO SHEET A2.6-1 FOR DOOR SCHEDULE.
- REFER TO SHEET A3.1 & A3.2 SERIES FOR WINDOW TYPES AND SCHEDULE.
- REFER TO SHEET A8.5 SERIES FOR SKYLIGHT DETAILS.
- ALL EXTERIOR AND INTERIOR CONCRETE WALLS AND CURBS EXPOSED TO PUBLIC VIEW SHALL BE ARCHITECTURAL CONCRETE.
- ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC SHALL BE A.E.S.S. REFER TO A2.8-0 FOR A.E.S.S. CATEGORIES.
- COORDINATE PENETRATIONS IN WALLS AND FLOOR WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL AND TELECOM.
- WHERE WALL TAG IS NOT SHOWN, PROVIDE FULL HEIGHT TYPE C24 OR F14 IN FURRED WALL CONDITION OR THICKNESS REQUIRED TO MAINTAIN ALIGNMENT TO ADJACENT WALL.
- PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR SHELVES, CABINETS, BRACKETS, GRAB BARS, HANDRAILS, ETC. SEE A9.0-1.
- FOR PANIC HARDWARE LOCATIONS AND OTHER DOOR INFORMATION, SEE DOOR TAG AND DOOR SCHEDULE.
- REFER TO SHEET A0.5 FOR ACCESSIBLE DOOR CLEARANCES.

Medium Activity Room 110

1/ A5.1-3



3/ A5.1-3



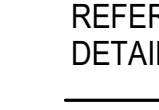
1/ A5.1-6



2/ A5.1-6



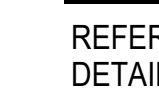
4/ A5.1-6



3/ A5.1-6



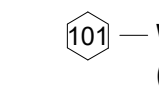
1/ A5.1-9



2/ A5.1-9



1/ A5.1-8



**INTERIOR WALL TYPE LEGEND**

REFER TO A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS

- UNINSULATED NEW PARTITION
- INSULATED NEW PARTITION
- INTERIOR WINDOW SYSTEM
- FIRE-RATED BARRIER
- FIRE-RATED PARTITION
- INTERIOR WALL TYPE (SEE A9.0 FOR WALL TYPE)

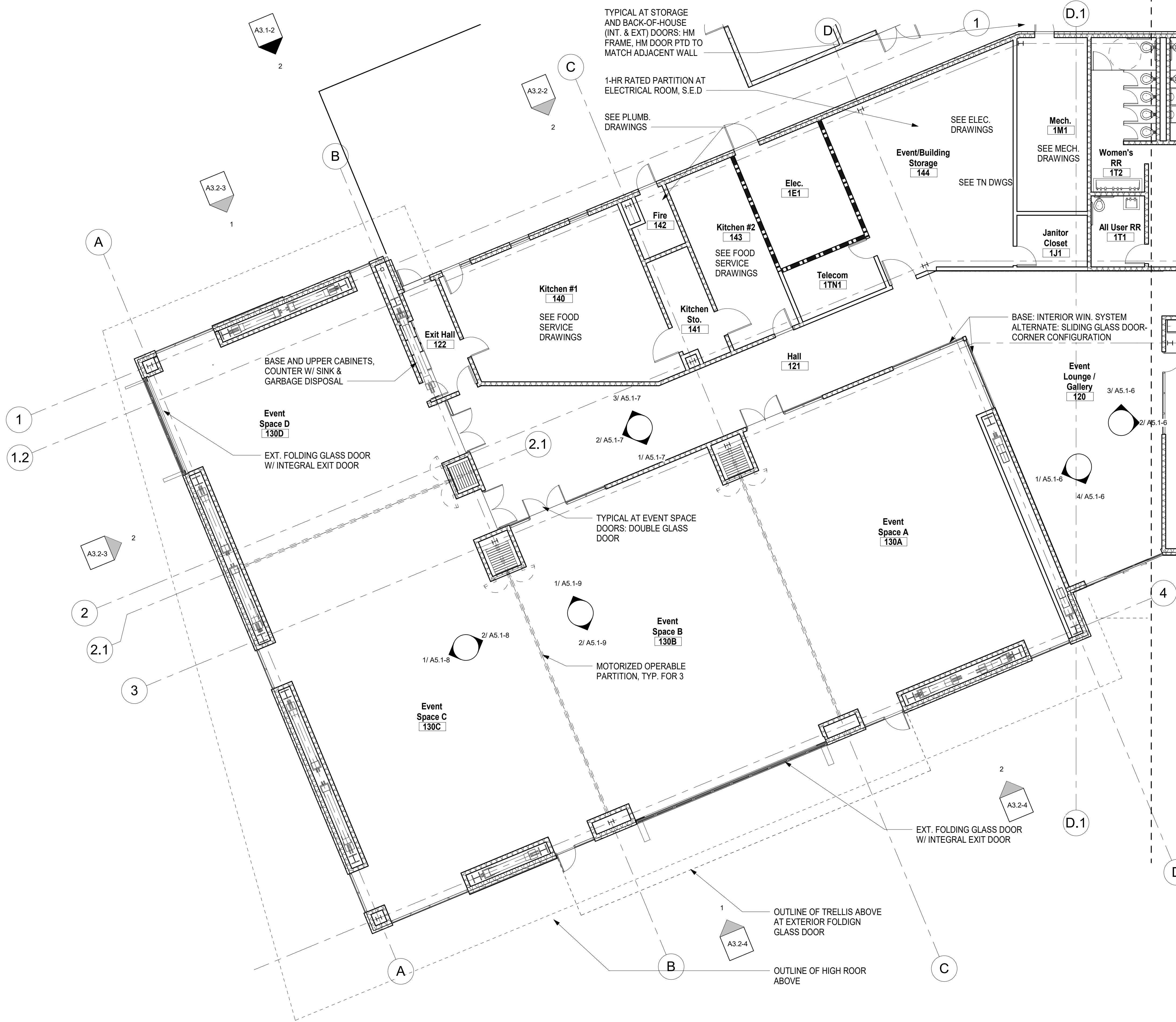
**EXTERIOR WALL TYPE LEGEND**

REFER TO A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS

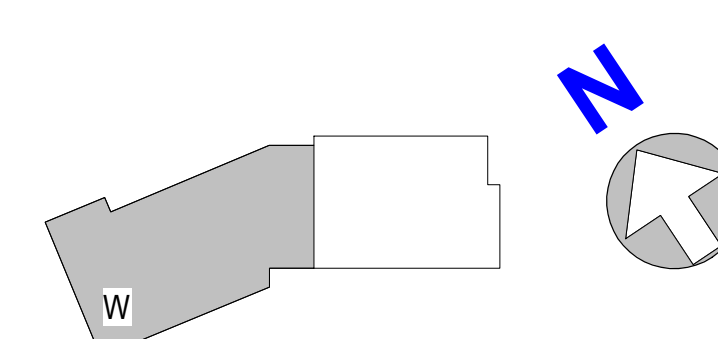
- INSULATED EXTERIOR NEW WALL
- EXTERIOR WINDOW SYSTEM
- EXTERIOR WALL TYPE (SEE A8.0 FOR WALL TYPE)

**WINDOW AND DOOR LEGEND**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- WINDOW/LOUWER NUMBER (SEE WINDOW/LOUWER SCHEDULE, A3.1 & A3.2 SERIES)



1 FP01- FIRST FLOOR PLAN ENLARGED WEST  
1/8" = 1'-0"



**SHEET NOTES**

1. REFER TO SHEET A0.2 FOR ARCHITECTURAL SYMBOLS, WALL TYPE LEGEND, AND ABBREVIATIONS.
2. COORDINATE ALL ACCESSIBILITY COMPLIANCE REQUIREMENTS. SEE SHEET A0.5 SERIES.
3. REFER TO SHEET A2.1-1 FOR GRID DIMENSIONS.
4. REFER TO SHEET A2.2 SERIES FOR CURB AND SLAB DIMENSIONS.
5. REFER TO SHEET A9.0 SERIES FOR INTERIOR PARTITION TYPES & DETAILS.
6. REFER TO SHEET A4 SERIES FOR FINISH PLANS.
7. REFER TO SHEET A2.6-1 FOR DOOR SCHEDULE.
8. REFER TO SHEET A3.1 & A3.2 SERIES FOR WINDOW TYPES AND SCHEDULE.
9. REFER TO SHEET A8.5 SERIES FOR SKYLIGHT DETAILS.
10. ALL EXTERIOR AND INTERIOR CONCRETE WALLS AND CURBS EXPOSED TO PUBLIC VIEW SHALL BE ARCHITECTURAL CONCRETE.
11. ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC SHALL BE A.E.S.S. REFER TO A2.8-0 FOR A.E.S.S. CATEGORIES.
12. COORDINATE PENETRATIONS IN WALLS AND FLOOR WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL AND TELECOM.
13. WHERE WALL TAG IS NOT SHOWN, PROVIDE FULL HEIGHT TYPE C24 OR F14 IN FURRED WALL CONDITION OR THICKNESS REQUIRED TO MAINTAIN ALIGNMENT TO ADJACENT WALL.
14. PROVIDE BACKING IN ALL WALLS AS REQUIRED FOR SHELVES, CABINETS, BRACKETS, GRAB BARS, HANDRAILS, ETC. SEE A9.0-1.
15. FOR PANIC HARDWARE LOCATIONS AND OTHER DOOR INFORMATION, SEE DOOR TAG AND DOOR SCHEDULE.
16. REFER TO SHEET A0.5 FOR ACCESSIBLE DOOR CLEARANCES.

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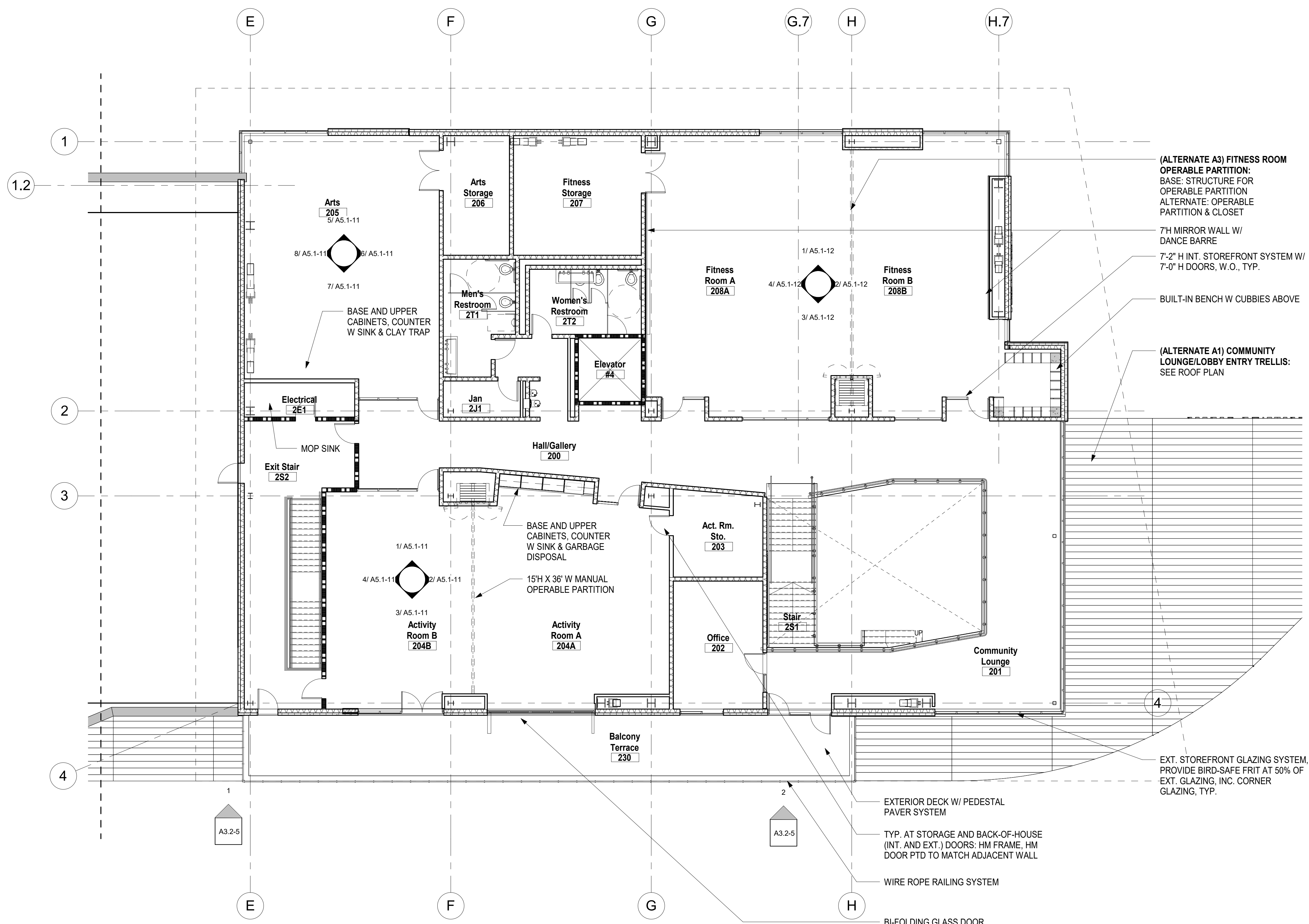
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SHEET TITLE AND NO.  
 ENLARGED PLANS -  
 SECOND FLOOR  
 EAST

**A2.5-2**



**1 FP02 - SECOND FLOOR ENLARGED PLAN**  
 1/8" = 1'-0"

**INTERIOR WALL TYPE LEGEND**

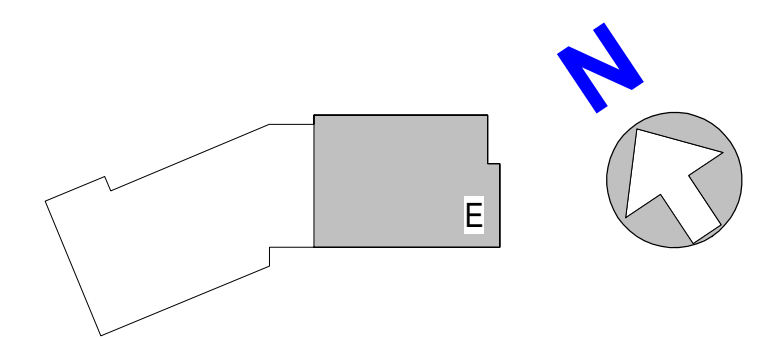
- REFER TO A9.0 SERIES FOR INTERIOR WALL TYPES & DETAILS
- UNINSULATED NEW PARTITION
  - INSULATED NEW PARTITION
  - INTERIOR WINDOW SYSTEM
  - FIRE-RATED BARRIER
  - FIRE-RATED PARTITION
  - INTERIOR WALL TYPE (SEE A9.0 FOR WALL TYPE)

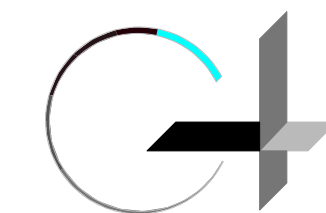
**EXTERIOR WALL TYPE LEGEND**

- REFER TO A8.0 SERIES FOR EXTERIOR WALL TYPES & DETAILS
- INSULATED EXTERIOR NEW WALL
  - EXTERIOR WINDOW SYSTEM
  - EXTERIOR WALL TYPE (SEE A8.0 FOR WALL TYPE)

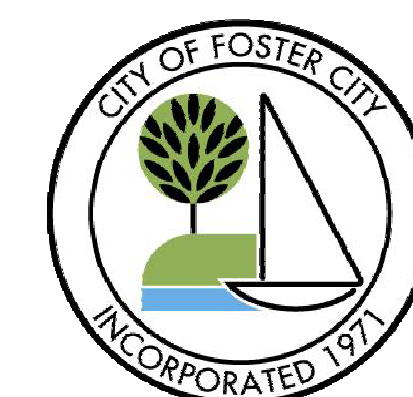
**WINDOW AND DOOR LEGEND**

- DOOR NUMBER (SEE DOOR SCHEDULE)
- WINDOW/LOUVER NUMBER (SEE WINDOW/LOUVER SCHEDULE, A3.1 & A3.2 SERIES)





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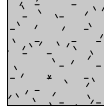
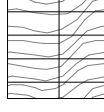
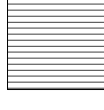


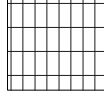



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SHEET TITLE AND NO.  
**BUILDING  
 ELEVATIONS**

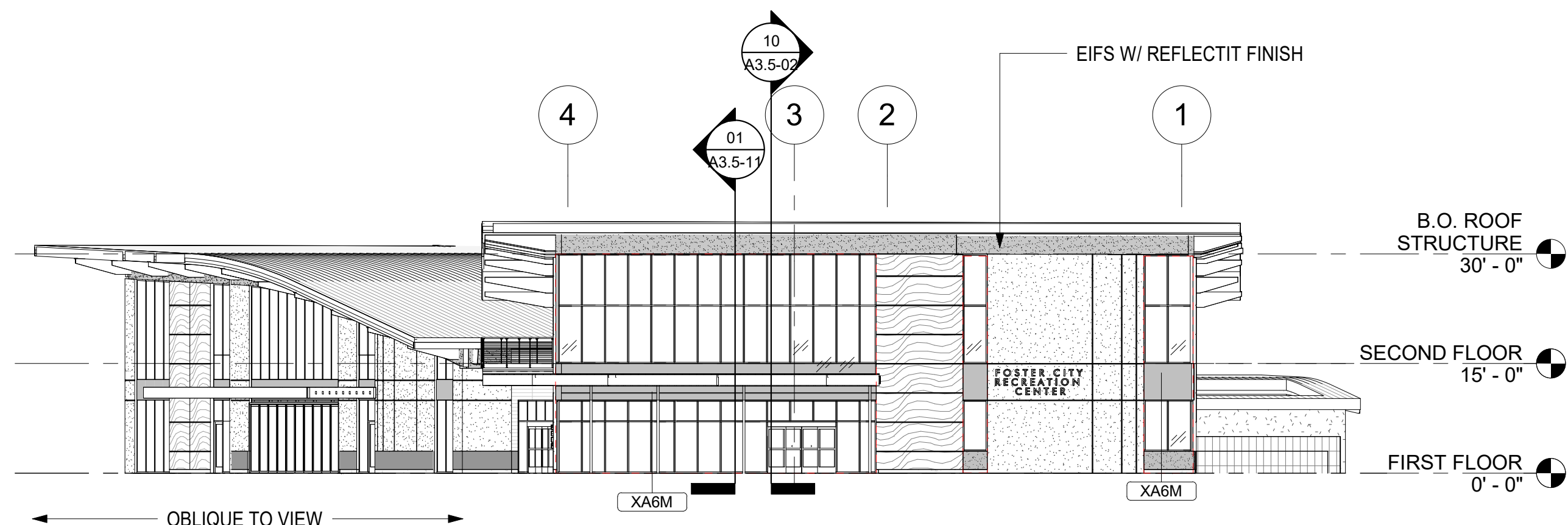
**A3.1-1**

**EXTERIOR WALL FINISH LEGEND**

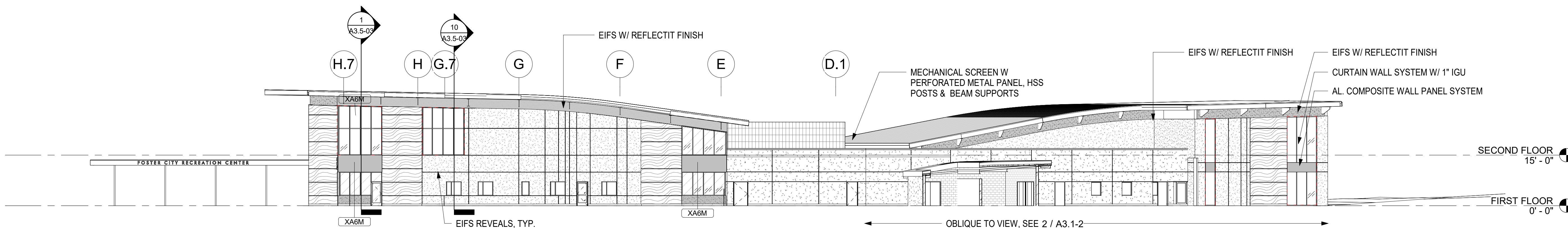
-  E-1 PRIMARY EXT. FINISH MATERIAL: EIFS
-  E-2 TOP BAND: METALLIC LOOKING EIFS
-  T-1 ACCENT EXT. FINISH MATERIAL: ULTRA HIGH PERFORMANCE CONCRETE (UHPC) PANEL SYSTEM
-  W-1 ACCENT EXT. FINISH MATERIAL: WOOD-LOOK PHENOLIC PANEL
-  A-1 ACM PANEL
-  C-1 BASE: PRECASE CONCRETE PANEL
-  W-3 PERFORATED MTL. MECHANICAL SCREEN
-  CW-1 CURTAIN WALL SYSTEM
-  ST-1 STOREFRONT SYSTEM
-  XE6M SEE A8 SERIES FOR EXTERIOR WALL TYPES & DETAILS

**SHEET NOTES**

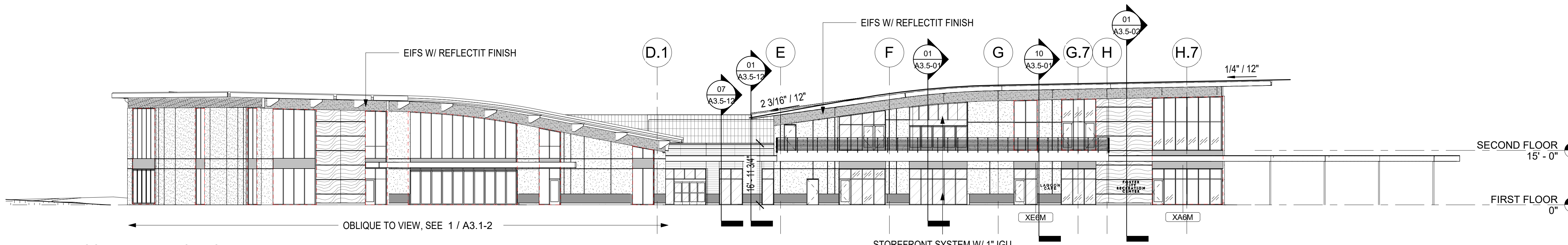
1. SEE SHEET A0.2 FOR ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
2. SEE SHEET A0.3-0 FOR GENERAL NOTES.
3. SEE A2.1-1 FOR GRID PLAN AND DIMENSIONS.
4. SEE A3.2 SERIES FOR ENLARGED EXTERIOR WINDOW ELEVATIONS
5. ALL EXTERIOR AND INTERIOR STEEL EXPOSED TO PUBLIC VIEW SHALL BE A.E.S.S.
6. DIMENSIONS ARE FOR INFORMATION ONLY. VERIFY IN FIELD ALL WINDOW, LOUVER AND OPENING DIMENSIONS PRIOR TO WORK. COORDINATE ALIGNMENT OF WINDOW MULLIONS WITH ADJACENT FINISH JOINTS AS INDICATED ON DRAWINGS.
7. SEE A2.6 SERIES FOR DOOR INFORMATION, INCLUDING DOOR TYPES AND DOOR GLAZING.
8. WHERE WINDOW SHADES ARE INDICATED ON WINDOW SYSTEMS WITH DOORS W/ GLAZING, SHADES OVER THE DOORS SHALL BE MANUAL, MOUNTED ON THE DOOR.
9. SEE A3.0 SERIES FOR BUILDING ENVELOPE MATERIAL
10. SEE A3.1 SERIES FOR BUILDING ELEVATIONS
11. SEE A5.0 SERIES FOR EXTENTS AND INTENT OF WINDOW SHADES
12. DETAILS REFERENCE IN EACH EXTERIOR WINDOW ELEVATION ARE TYPICAL FOR THAT TYPE OF WINDOW, U.O.N.
13. REFER TO A8 SERIES FOR EXTERIOR WALL TYPES & DETAILS



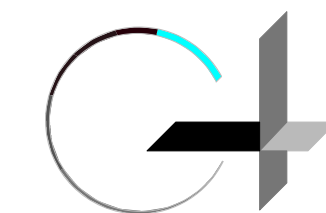
3 EL -EAST ELEVATION - REC WING  
 1/16" = 1'-0"



2 EL - NORTH ELEVATION - OVERALL  
 1/16" = 1'-0"



1 EL - SOUTH ELEVATION - OVERALL  
 1/16" = 1'-0"



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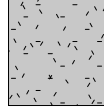
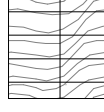
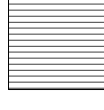


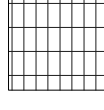


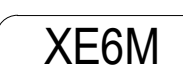
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SHEET TITLE AND NO.  
**BUILDING  
 ELEVATIONS**

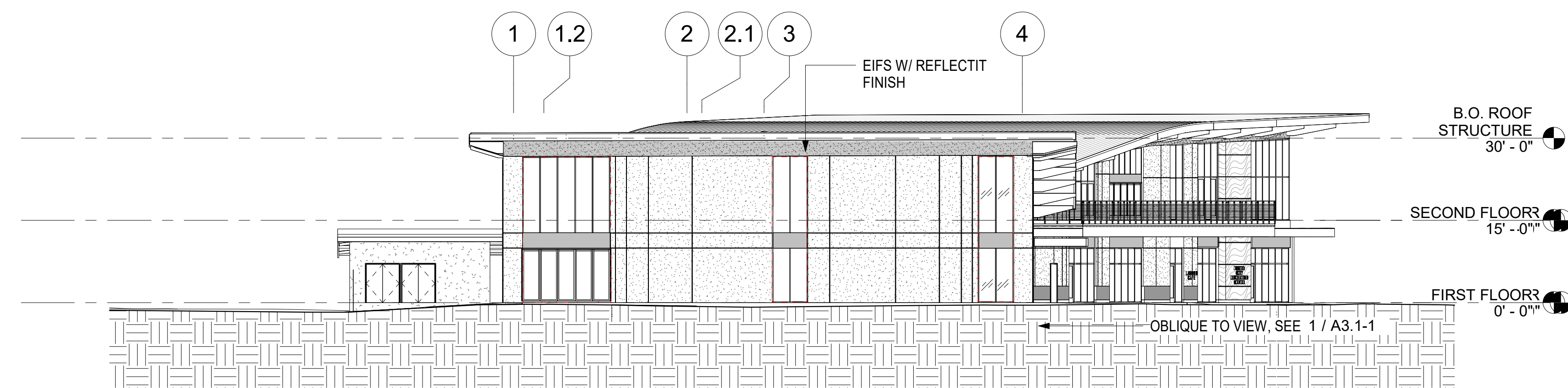
**A3.1-2**

**EXTERIOR WALL FINISH LEGEND**

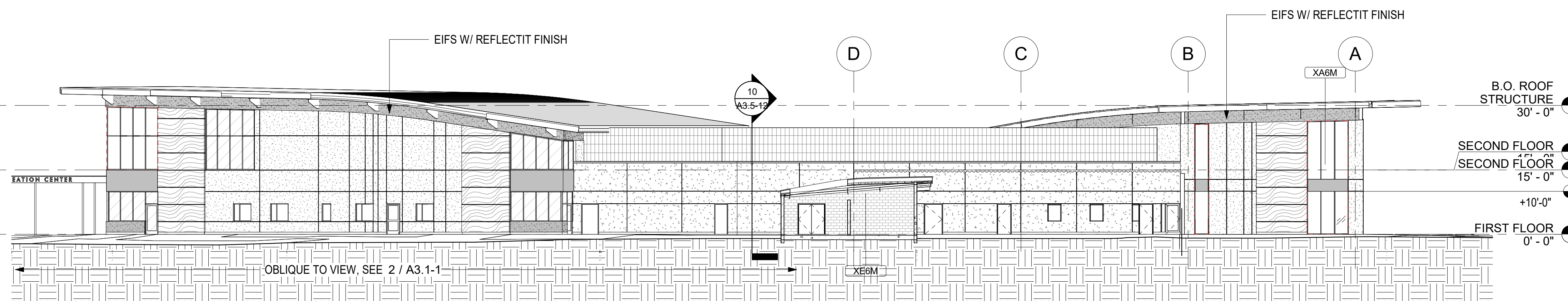
-  E-1 PRIMARY EXT. FINISH MATERIAL: EIFS
-  E-2 TOP BAND: METALLIC LOOKING EIFS
-  T-1 ACCENT EXT. FINISH MATERIAL: ULTRA HIGH PERFORMANCE CONCRETE (UHPC) PANEL SYSTEM
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-  XE6M SEE A8 SERIES FOR EXTERIOR WALL TYPES & DETAILS

**SHEET NOTES**

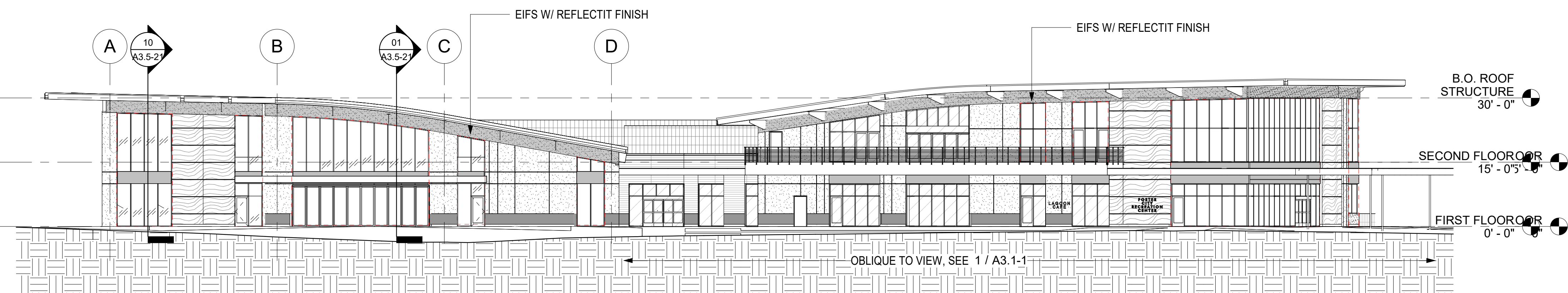
1. SEE SHEET A0.2 FOR ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
2. SEE SHEET A0.3-0 FOR GENERAL NOTES.
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13. REFER TO A8 SERIES FOR EXTERIOR WALL TYPES & DETAILS



③ EL - WEST ELEV. - EVENT WING  
 1/16" = 1'-0"

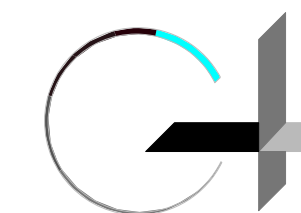


② EL - NORTH ELEVATIONS- EVENTS WING  
 1/16" = 1'-0"



① EL - SOUTH ELEV. - EVENT WING  
 1/16" = 1'-0"





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DEGENKOLB ENGINEERS  
 1300 Clay Street, Suite 900  
 Oakland, CA 94612  
 510.272.9040 PHONE  
 510.272.5926 FAX



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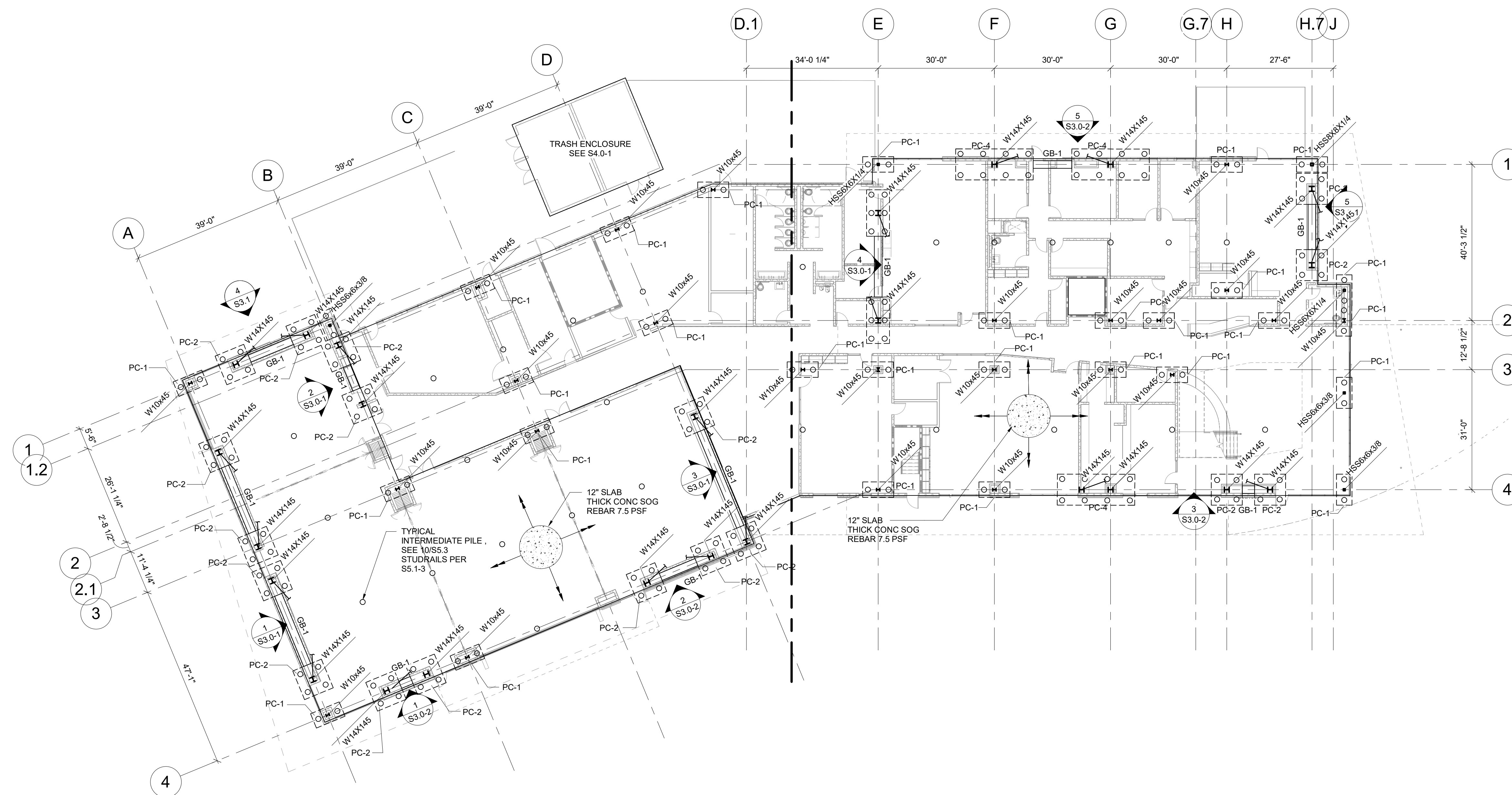
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SHEET TITLE AND NO.  
 FIRST FLOOR  
 FOUNDATION PLAN

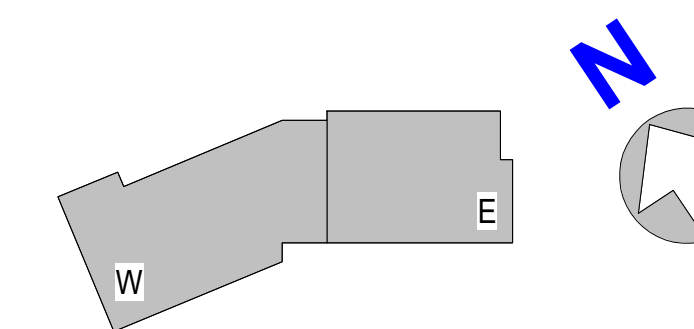
**S2.0-1**

SHEET NOTES:

1. SEE SHEETS S0.1 AND S.02 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
2. TOP OF SLAB ON GRADE IS AT PROJECT ELEVATION = 0'-0". U.O.N.
3. TOP OF PILE CAPS IS AT PROJECT ELEVATION -1'-0" U.O.N. SEE S5.1 SERIES FOR DETAILS.
4. SEE S7.2-1 FOR STEEL COLUMN SCHEDULE
5. SEE SHEETS S3.0-1 TO S3.0-2 FOR BRACED FRAME ELEVATIONS
6. SEE ARCHITECTURAL DRAWINGS FOR EDGE OF SLAB LOCATIONS AND CURB LOCATIONS
7. SEE ARCHITECTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CURB HEIGHT DIMENSIONS. VERIFY SLAB RECESS WITH APPROVED FLOOR SYSTEM PRIOR TO POUR.
8. SLAB THICKNESS SHOWN IN MINIMUM. SEE ARCHITECTURAL DRAWINGS FOR SLOPE.
9. SEE SXX FOR SUPPLEMENTAL STEEL FRAMING DETAILS
10. ALL OPENINGS MAY NOT BE SHOWN ON THE STRUCTURAL DRAWINGS. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS NOT SHOWN.
11. SEE ARCHITECTURAL DRAWINGS FOR AESS STEEL WHERE REQUIRED.



**1 FIRST FLOOR FOUNDATION PLAN**  
 1/16" = 1'-0"



# PERSPECTIVE FROM SHELL BOULEVARD

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DECEMBER 18, 2023

CITY COUNCIL UPDATE

Foster City Recreation Center

# VIEW FROM LAGOON TERRACE

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# VIEW FROM MEADOW

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# VIEW FROM LAGOON

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# VIEW FROM SHELL BOULEVARD ENTRY

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# VIEW OF EVENTS TERRACE

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DECEMBER 18, 2023

CITY COUNCIL UPDATE

Foster City Recreation Center

**CITY OF FOSTER CITY  
RECREATION CENTER REBUILD PROJECT  
PRE-QUALIFICATION OF GENERAL CONTRACTORS**

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**ATTACHMENT B – Insurance Requirements**

The Contractor shall procure and keep in full force and effect during the term of the Agreement, at the Contractor's cost and expense, the following policies of insurance with companies licensed to do business in the State of California which are acceptable to the City. The Contractor shall, within ten (10) calendar days from the date of Award of Contract, supply the City with the Certificate showing that such insurance is in force. The City reserves the right to cancel the contract if these requirements are not met within 30 calendar days of the Notice of Acceptance of Bid.

All policies shall contain a provision that they shall not be canceled or materially changed without thirty (30) calendar days prior written notice to the City. No cancellation provision in any insurance policy shall be construed in derogation of the continuous duty of licensee to furnish the required insurance during the term of the Agreement.

- (a) Workers' Compensation. The Contractor shall provide Workers' Compensation insurance as required by law. The Contractor is aware of the provisions of the California Labor Code §3700, which require every employer to be insured against liability for workers' compensation or to undertake self-insurance in accordance with the provisions of that code, and will comply with such provisions before commencing the work.
- (b) Comprehensive or Commercial General Liability. Coverage includes Bodily Injury and Property Damage as required by the Agreement.
- (c) Automobile Liability. Coverage includes owned, non-owned and hired vehicles as required by the Agreement.
- (d) Special Hazards. The Supplementary Conditions may require the Contractor to provide coverage against any special hazards which may be encountered in the performance of this Contract.
- (e) Builder's Risk. The Supplementary Conditions may require the Contractor to insure all work and materials supplied against loss or damage by fire, malicious mischief or vandalism.

All policies taken out by the Contractor insuring work and materials supplied shall list the City as additionally insured and be payable to the Contractor and the City. Policies shall be kept in full force and effect by the Contractor until final acceptance of the work by the City.

- (f) Subcontractor(s) Insurance Requirements. The Contractor shall either: (1) require each subcontractor to procure and maintain during the life of its subcontract all insurance of the type and in the amounts specified in the Agreement or (2) insure the activities of subcontractor(s) in its own policy.