

DESIGN GUIDELINES FOR EAST SIDE COMMERCIAL CENTER
METRO CENTER Foster City

The East Side Commercial Center is a 12.5-acre regional commercial and office development located within the eastern half of Metro Center, Foster City. The site is located south of Metro Center Boulevard, west of Foster City Boulevard, north of Hillside Boulevard, and east of Shell Boulevard. The intent of this development within Metro Center is to provide a variety of uses that will serve the residents of Foster City as well as the larger Peninsula community and continue the urban character of Metro Center.

Since the East Side Commercial Center is part of Metro Center, the original master plan guidelines contained in the Town Center General Plan report, dated November, 1983, and the Town Center Design Guidelines dated April, 1984, continue to be applicable. These guidelines for the East Side Commercial Center are meant to supplement, and to provide further detailed information for the site. For cross-referencing purposes a chart of the appropriate page references is attached at the back of these design guidelines.

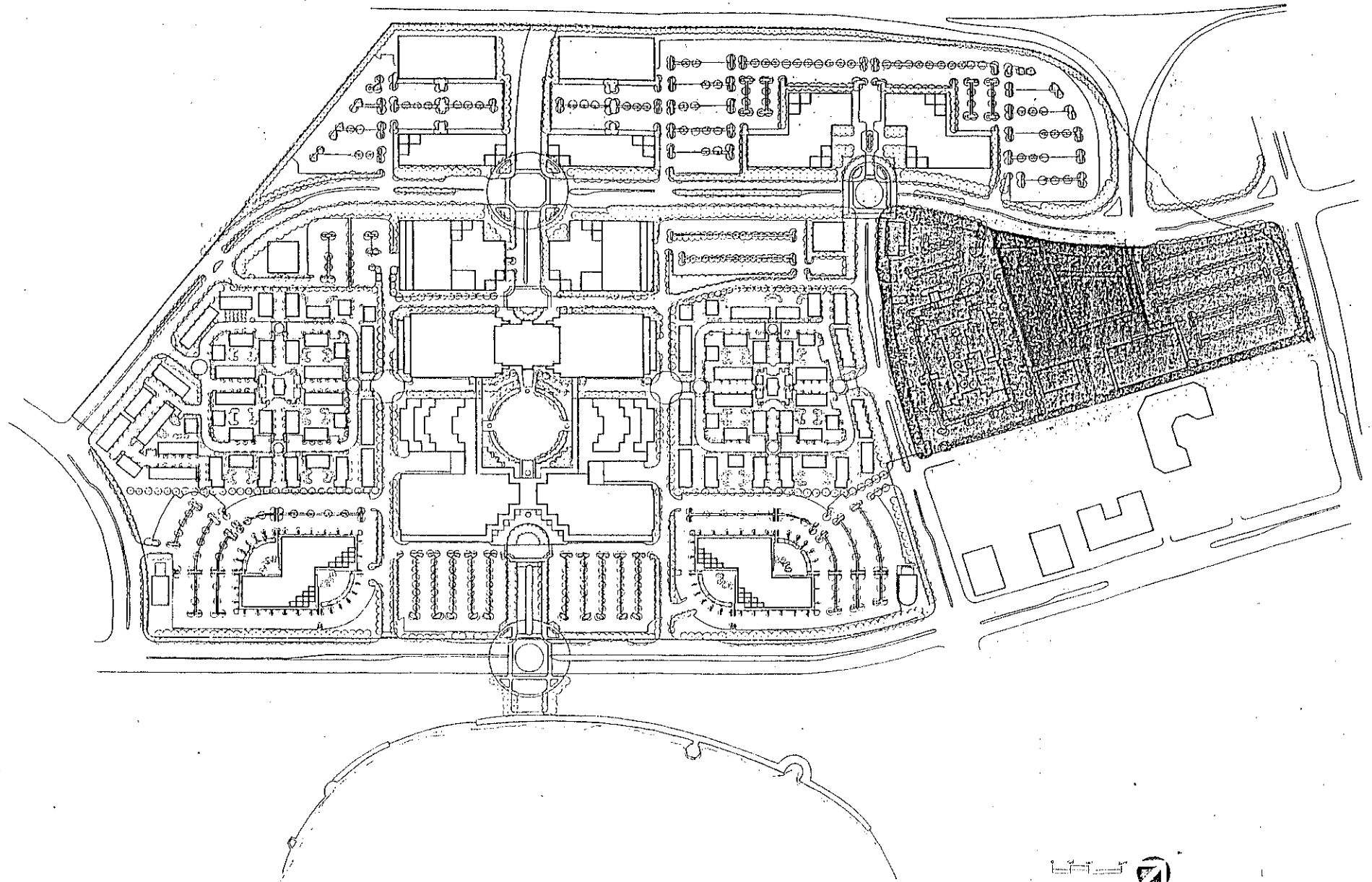
DEVELOPMENT OBJECTIVES

The development objectives of the East Side Commercial Center have been established within the context of the goals of the Metro Center Design Guidelines. The key development objectives which the East Side Commercial Center should achieve include:

1. Develop facilities to serve the various needs of Foster City and Metro Center communities.
2. Integrate this site within Metro Center in order to continue the existing urban fabric of Metro Center.
3. Create a well-defined and attractive statement as a main entrance to Foster City, off Highway 92.
4. Develop a smooth vehicular circulation system to provide convenient access to the site, convenient and safe circulation within the site.
5. Develop low-scale building masses along the periphery of Metro Center to complement and support the large scale of the core development.



FILE COPY



EAST SIDE COMMERCIAL CENTER

SITE DEVELOPMENT

FOSTER CITY, METRO CENTER

DEVELOPMENT & MANAGEMENT:
 TRANSPACIFIC DEVELOPMENT CO.
 OAKLAND, CA. TORRANCE, CA.

JANUARY 27, 1986
 REVISED: FEBRUARY 27, 1988

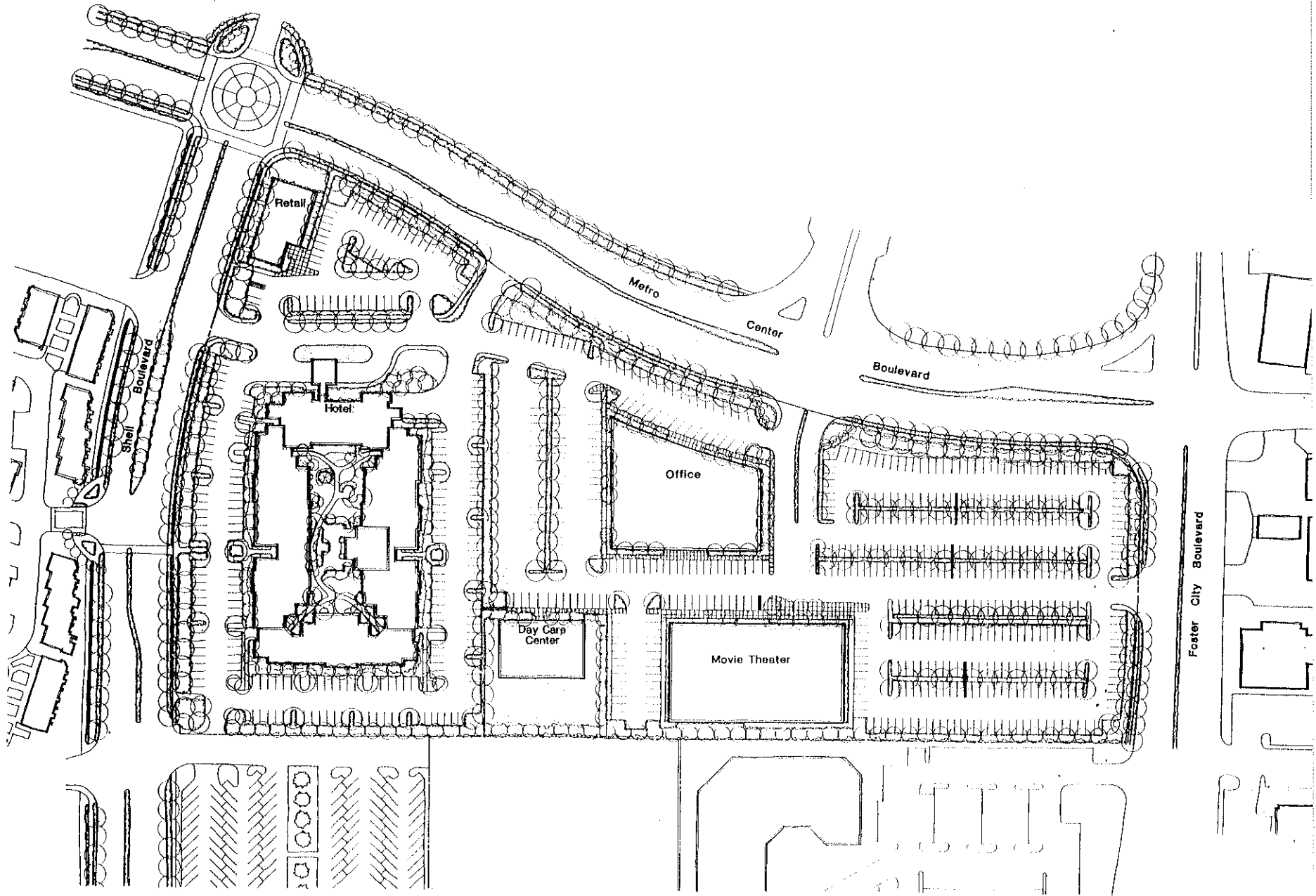
PLANNING:
 HELLMUTH, OBATA & KASSABAUM
 SAN FRANCISCO, CA.

6. Develop a well-defined pedestrian circulation system to connect the uses within the site and connect the site to the Metro Center core and the surrounding Foster City community.
7. Establish an attractive network of open spaces, with landscaping, special paving and lighting to unify the development, in fulfillment of the Metro Center master plan theme.

PROPOSED USES

Objectives: A general purpose commercial and office complex should be developed on this site to serve Metro Center, the residents of Foster City, as well as those of the larger Peninsula community.

Methods: The proposed commercial and office uses complement and enhance the surrounding land uses, as well as the planned office, residential, and retail facilities within Metro Center. The facilities proposed for the East Side Commercial Center include retail, entertainment, office, community support services, and hotel. The original site plan proposed a large, general purpose retail facility. The new plan provides a mix of smaller uses which include a hotel, theatre, office building, day care facility, and smaller retail unit. These new uses will encourage a more cohesive development by serving a wider range of community needs.



EAST SIDE COMMERCIAL CENTER

FOSTER CITY METRO CENTER



DESIGN GUIDELINES

Based on the aforementioned development objectives and proposed site uses, the following guidelines have been developed to outline the various means of achieving these goals. Two general categories are presented--Architectural Guidelines and Landscape Guidelines. The guidelines in each category have been developed to complement each other, and to blend in with the existing Metro Center master plan guidelines, while allowing flexibility for the development to create its own variation and character.

ARCHITECTURAL GUIDELINES

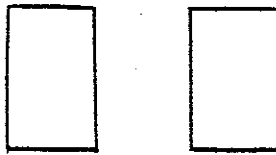
Siting

Objective: Integrate this site within Metro Center in order to reinforce the urban character of Metro Center.

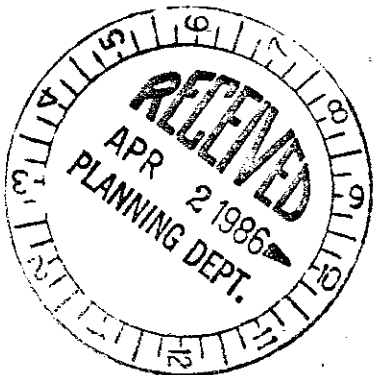
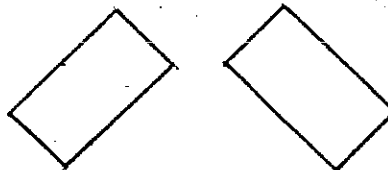
Methods:

1. The grid layout, axial symmetry, and formality developed throughout Metro Center should be adhered to on this site.
2. Buildings should be built parallel and perpendicular to the major right-of-ways of Shell Boulevard and Metro Center Boulevard.
3. Buildings should be spaced apart to encourage even parking distribution.

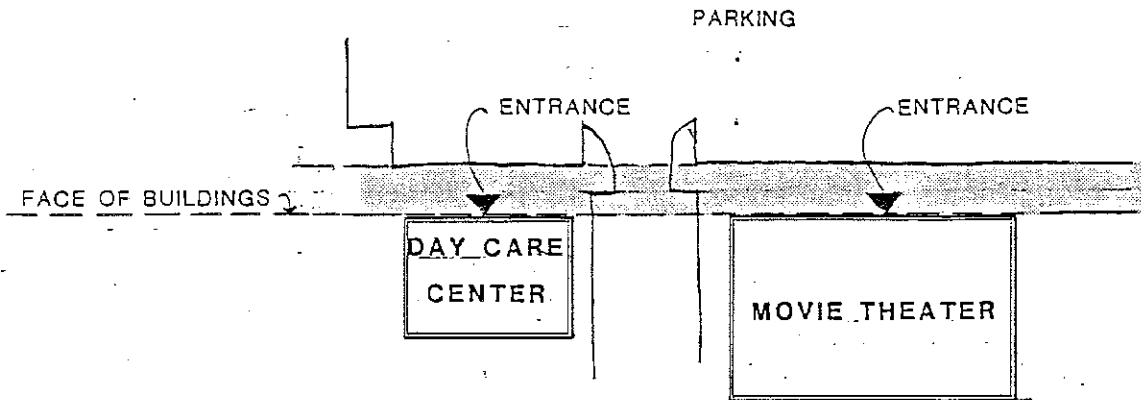
Yes



No



4. Buildings should have uniform set-backs from parking.



5. Respect existing buildings to south by seeking relationships of building forms.

Heights

Objective: Maintain a progressive increase in building heights toward the project core. Building should be compatible with height of adjoining building to the south.

Methods: Establish "Height Guidelines" as follows:

Hotel, Theatre and Office -- 30-40'
Retail and Day Care Center -- 20-30'

Massing

Objective: Building mass should be articulated to create humanly-scaled spaces at the pedestrian level.

Method:

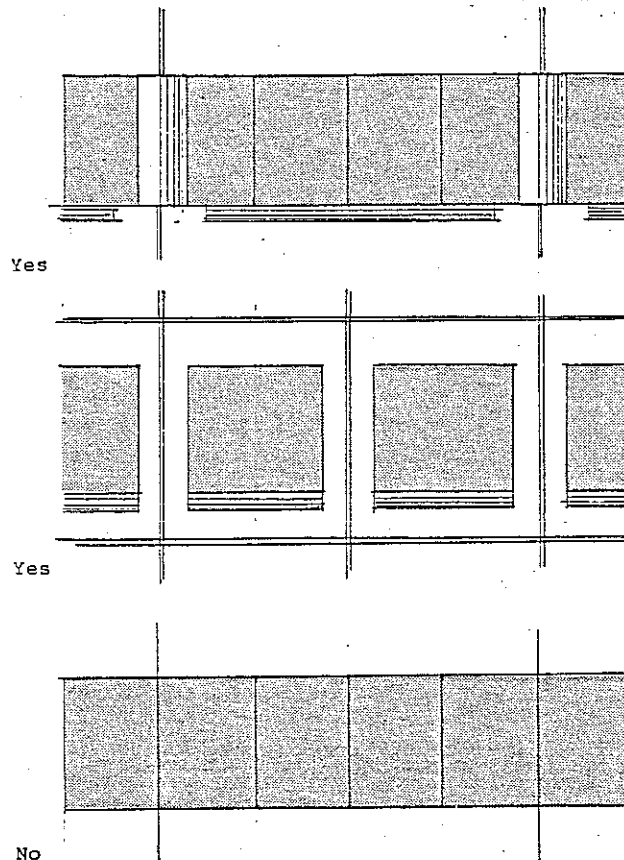
1. Buildings should be developed with well-defined entrances which focus on pedestrian spaces.
2. Entrance areas should be articulated with building masses of lower scale utilizing elements such as an awning, canopy, or porte cochere.

Facade Treatments

Objective: Present cohesive, consistent image with all site structures blending in with surrounding structures.

Methods:

1. Use similar light-colored materials and finishes throughout the site which are in conformance with the approved Metro Center color and material boards.
2. Provide facade detail and interest, through the articulation of windows, columns, sills, joints, etc.
3. Discourage use of all metal, and all mirrored glass facades.
4. Use similar facade treatments for all buildings for such items as entry details, roof lines and surface articulation.
5. Encourage use of standing metal seam roof where roof lines are visible.
6. Relate building materials and treatments to adjacent structures.
7. Relate the theatre facade in color, material, and finish to the existing office building.



Facade Treatments

Ground Floor/Pedestrian Orientation

Objective: Create an active pedestrian life at street level.

Methods:

1. Create special entrance articulation in building facade.
2. Use predominantly glazed interior spaces at entrances.
3. Minimize use of blank walls.
4. Provide visible lobbies.
5. Encourage direct pedestrian routes to main building entrances by development of well-defined pedestrian circulation paths.

Roof Tops

Objective: Visible roof lines should be integrated into the design of the total building form, and all rooftop mechanical equipment should be hidden from view from adjacent structures and ground level.

Methods:

1. View lines from ground level and from adjacent buildings should be considered when designing mechanical equipment screens.
2. When designing roofs and equipment enclosures all walls should be of the same material as the remainder of the structure and all visible sloping roofs should present a simple form consistent with building shape.
3. Standing seam metal of a uniform color is encouraged for all such visible roofs.

LANDSCAPE GUIDELINES

The following guidelines provide a framework for landscape development within the East Side Commercial Center. The Open Space section describes the open space treatment throughout the site. The Guidelines for Implementation section addresses landscape objectives and specific site issues. The Prototypical Treatments section outlines design solutions for use as general guidelines for typical situations occurring in the East Side Commercial Center.

OPEN SPACE

The Open Space system contains all the critical circulation, building entrance, and perimeter dimensions. Building setbacks, landscaping, and utility easements are included in this plan. Please refer to the Open Space Plan on the following pages.

Perimeter Landscaping

The perimeter landscaping areas measure 15 feet from the property line along Metro Center and Foster City Boulevards. Along Shell Boulevard the eastern side of the street has an 8-1/2 foot landscaped area. These landscape areas are augmented by additional landscaping in the road right-of-way, for a total of 21-1/2 feet along Foster City and Metro Center Boulevards and 15 feet along Shell Boulevard. The table below provides a summary of these landscape areas in detail.

LANDSCAPE AREAS TABLE

<u>Street</u>	<u>Perimeter Landscape Area</u>	<u>Right-of-Way Landscape Area (a)</u>	<u>Total Landscape Area</u>
Metro Center Blvd.	15.0 feet	6.5 feet	21.5 feet
Shell Blvd. (east side)	8.5 feet	6.5 feet	15.0 feet
Foster City Blvd.	11.0 feet	10.5 feet	21.5 feet

Building Setbacks

All buildings should be set back from the public streets behind the perimeter landscaping. Along Metro Center Boulevard all buildings should be set back approximately 40 feet from the curb face. The table below presents the building set back dimensions from the curb face. Please also refer to the Architectural Guidelines and siting discussion for further information.

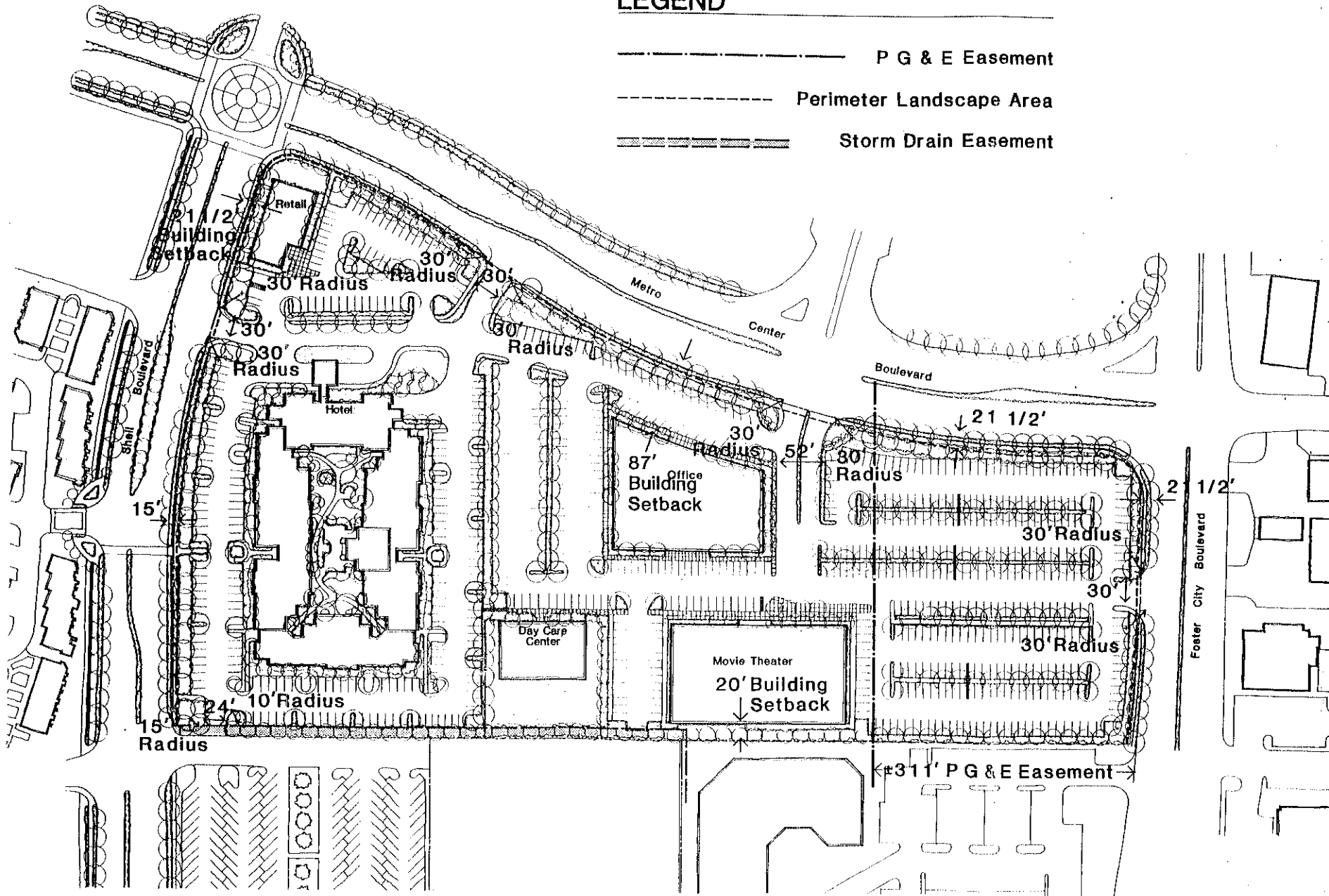
BUILDING SETBACK TABLE

<u>Street</u>	<u>Building Setback (a)</u>
Metro Center Blvd.	40.0 feet
Shell Blvd.	21.5 feet
Foster City Blvd.	21.5 feet

(a) The dimension from face of curb of the roadway to the face of building.

LEGEND

- P G & E Easement
- Perimeter Landscape Area
- Storm Drain Easement



OPEN SPACE

EAST SIDE COMMERCIAL CENTER

FOSTER CITY METRO CENTER

GUIDELINES FOR IMPLEMENTATION

The open spaces within East Side Commercial Center are a unifying factor of the plan. Landscaping should provide a framework to reinforce the scale and character of the development as a whole. Perimeter landscaping, entrance gateways, parking lot landscaping, and pedestrian connections must be articulated to describe the open space system. Significant aspects of the plan that will ensure a cohesive development follows.

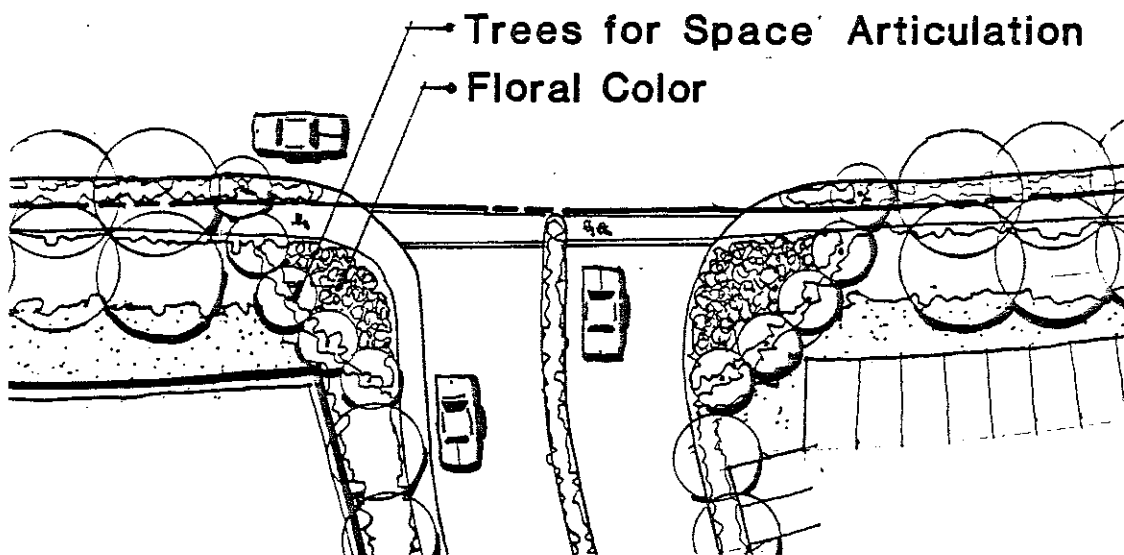
Major Entrance Gateway

The main entry gateway to the site is located opposite the State Route 92 off ramp, along Metro Center Boulevard.

Objectives: This entrance should provide a dramatic statement at the entrance to the East Side Commercial Center.

Methods:

1. Develop a special landscaped entrance that continues the prototypical Metro Center circular entrance treatment.
2. Articulate the entrance with special plant materials.
3. Provide floral color in masses by using flowering accent trees and ground cover.
4. Provide vertical definition of the gateway intersection at ground level through the use of trees, lighting, and signage.
5. Provide a clear, direct, and safe pedestrian route through the main entrance.
6. Develop the design in accordance with Foster City traffic standards.



Major Entrance Gateway

Vehicular Circulation and Parking

Objectives: The vehicular circulation system should provide convenient ingress and egress, safe and smooth routes of travel within the site, and ample parking for all site uses.

Methods:

1. Develop at least one site access point from Foster City and Shell Boulevard, and two access points along Metro Center Boulevard.
2. Provide efficient, safe internal vehicular movements that meet Foster City traffic standards.
3. Provide efficient parking layout using 90° parking and two-way aisles.
4. Develop parking dimensions for standard, compact, and handicap stalls that comply with Foster City standards.
5. Minimize the impact of asphalt paving by using landscaped medians.
6. Use "shared" parking to limit the number of large, individual lots for each use.

Pedestrian Circulation

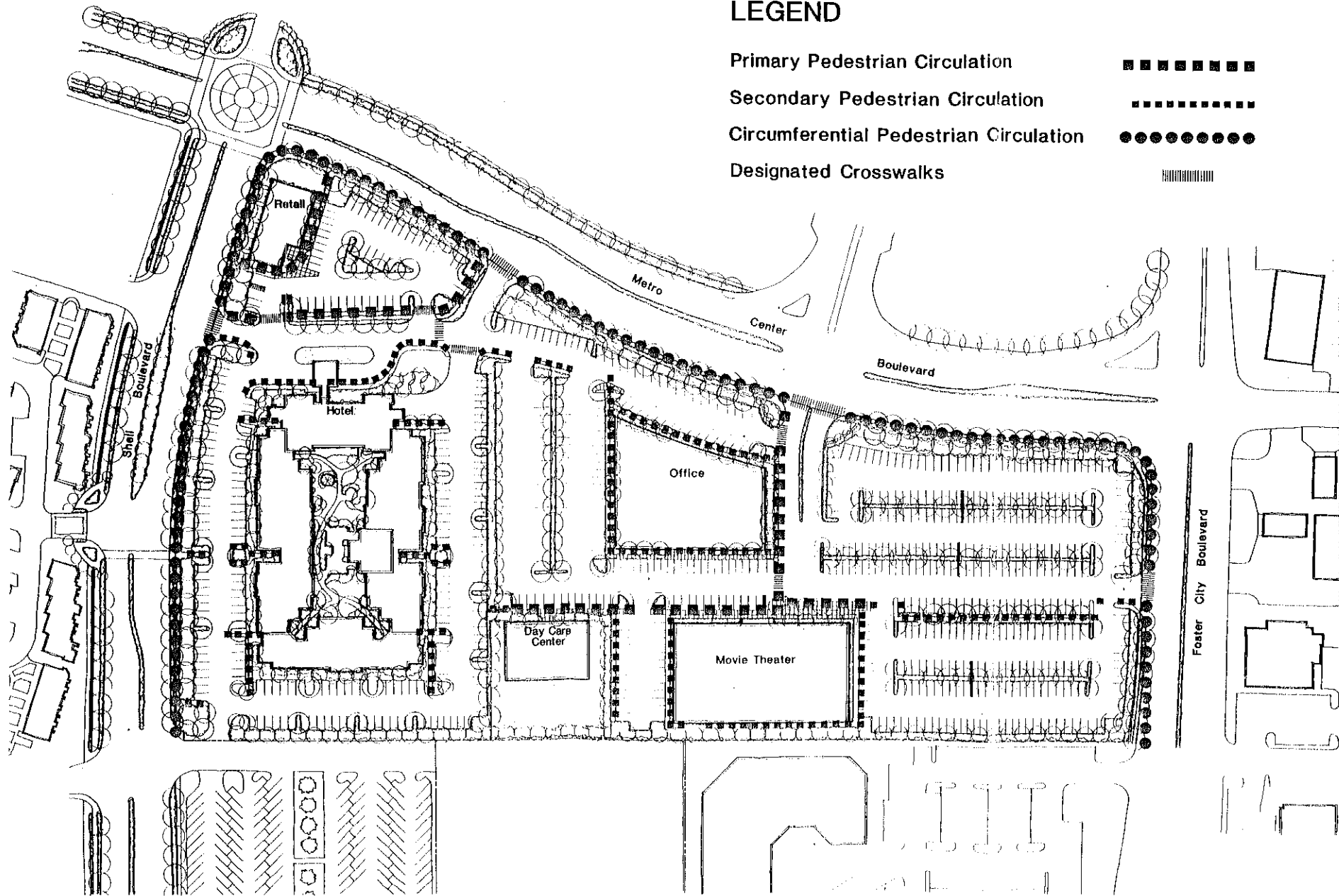
Objectives: A pleasant, attractive pedestrian system should be created to connect the site to surrounding uses and to provide internal circulation to each facility.

Methods:

1. Provide a pedestrian access route at the main site entrance connected to the perimeter sidewalk system.
2. Provide direct, safe, efficient, internal pedestrian paths to each facility entrance (point of destination) and connect routes to perimeter sidewalks.
3. Provide designated crosswalks at all critical vehicular crossing points, following Foster City standards.
4. Allow parking lot pedestrian movement with parking median cut-throughs.

LEGEND

- Primary Pedestrian Circulation
- Secondary Pedestrian Circulation
- Circumferential Pedestrian Circulation
- Designated Crosswalks



Site Plantings

Plant materials should not only be used for visual enjoyment but also for various functions within the urban environment. Planting objectives include:

1. Articulation of outdoor spaces
2. Definition of scale
3. Visual screening
4. Wind barriers
5. Reduction of solar glare and heat build-up
6. Aesthetic improvement of Metro Center

Mitigation Measures

Metro Center has environmental constraints of strong prevailing winds and adverse soil conditions which require mitigation for successful plant material survival. The adverse soil conditions are the result of a high groundwater table and the presence of salts in the soil. Due to these saturated, saline soils, all the site plantings should be installed with a subsurface drainage system. This involves the installation of a perforated drain pipe located at the "bay mud" level, to remove any saline water from saturating the soils which contact plant materials. There are few ornamental plants that can tolerate both saturated and saline soil conditions. Typically, water-tolerant plants do not have any salinity tolerance, and conversely saline-tolerant plants come from dry climates and do not tolerate wet soils.

A qualified horticulturist and civil engineer should design the subsurface drainage system. It is best if installed with the underground utilities to ensure proper slope drainage and storm sewer system connections for the perforated pipes.

With respect to wind velocities, primarily from the north and east, all plantings should be protected by following these recommendations:

1. Select wind-tolerant plant material
2. Where appropriate, plant less mature plant material to facilitate more favorable adaptation of plant material
3. Mass plant in dense clusters where prevailing winds are heaviest
4. Tailor the irrigation program to ensure adequate watering
5. Stake and guy plant materials adequately at the time of installation
6. Develop an ongoing pruning program

PLANTING LEGEND



- LARGE DECIDUOUS SHADE TREES**
- *ALNUS CORDATA - ITALIAN ALDER
 - *ALNUS RHOMBIFOLIA - WHITE ALDER
 - *FRAXINUS VARITIES - ASH
 - *GINKGO BILOBA 'PAIRMONT' - GINKGO
 - *ELEDITSIA TRIACANTHOS 'MORANE' - HENRY LOGGIST
 - *PLATANUS ACERIFOLIA 'BLOODGOOD' - LONDON PLANE TREE



- BROADLEAF EVERGREENS / CONIFERS**
- *ACACIA MELANOXYLON - BLACK ACACIA
 - *EUCALYPTUS SPP - EUCALYPTUS
 - *MELALEUCA LEUCADENDRA - CAJUPUT TREE
 - *METROSIDEROS EXCELSA - NEW ZEALAND CHRISTMAS TREE
 - *MYRTICUM LAETUM - MYRTICUM
 - *PINUS SPP - PINE
 - *QUERCUS ILEX - HOLLY OAK
 - *QUERCUS SPANACARDIDES - CARROT WOOD
 - *LITHOCARPUS EDENSIIFLORA - TANBARK OAK
 - *TRISTEMA CONFORTA - BRISBANE BOX



- FLOWERING ACCENT TREES**
- *FRAXINUS BUREYANA - FLOWERING PLUM
 - *FRAXINUS CERCYPERA - PURPLE LEAF PLUM
 - *PYRUS CALLERYANA 'BRADFORD' - BRADFORD PEAR
 - *PYRUS KAWAKAMI - EVERGREEN PEAR



- FLOWERING HEDGE (SHRUBS)**
- *ESCALLONIA SPP - ESCALLONIA
 - HEBE VARITIES - HEBE
 - *NIPPONICUM GLEANDER (DWARF) - GLEANDER
 - *RAPIHOLEPSIS INDIA - INDIA HAWTHORN
 - *VIBURNUM TINIO 'DWARF' - LAZARUS TREE



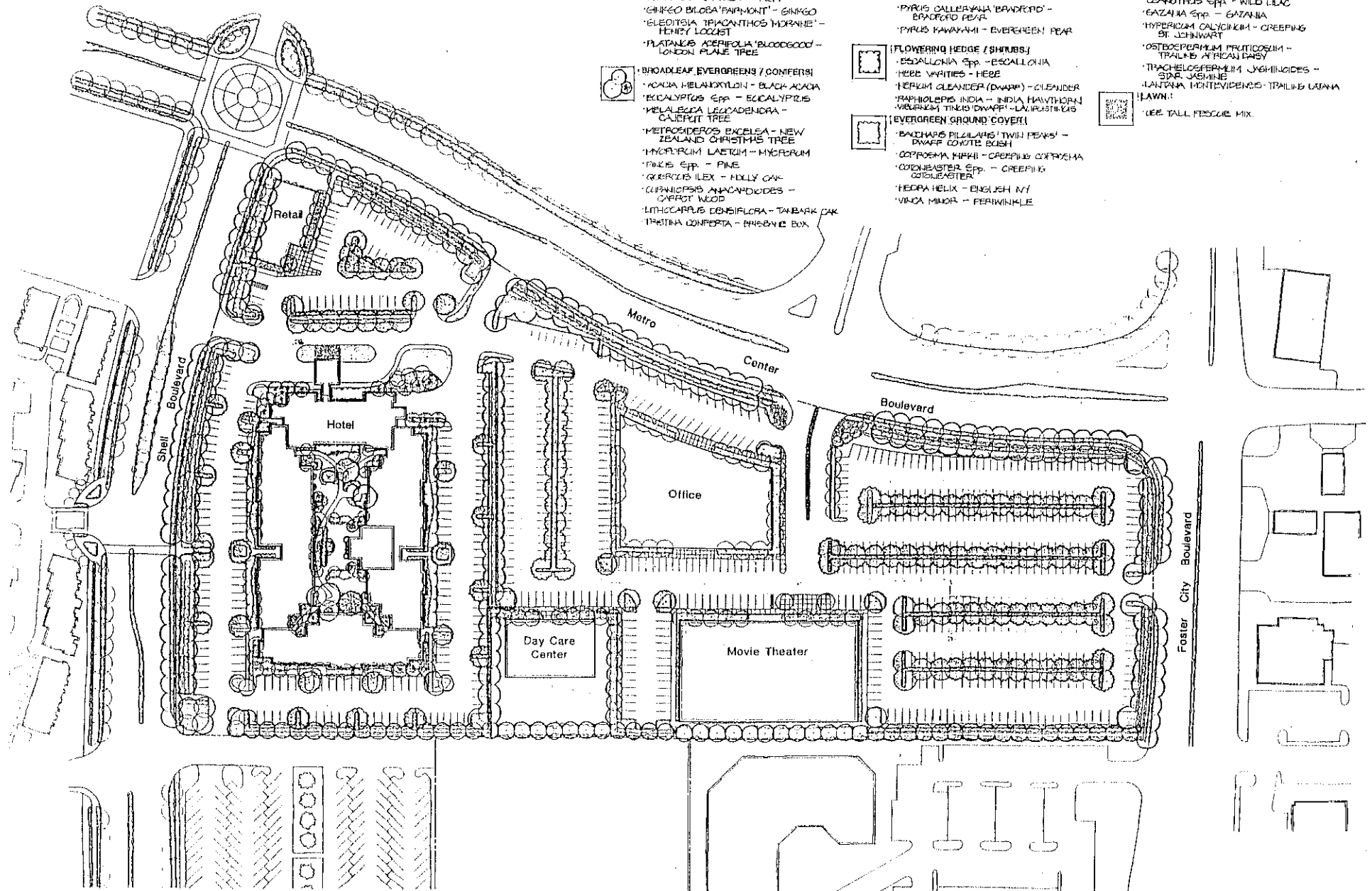
- EVERGREEN GROUND COVER**
- *BANCHUS PILULARIS 'TWIN PEAKS' - DWARF COYOTE BUSH
 - COPROEMA KIRKII - CREEPING COPROEMA
 - CORONASTER SPP - CREEPING CORONASTER
 - HEPHA HELIX - ENGLISH Ivy
 - VINCA MINOR - PERIWINKLE



- FLOWERING GROUND COVER**
- *AGAPANTHUS AFRICANUS - LILY OF THE Nile
 - *CIBANOTHUS SPP - WILD LILAC
 - *GAZANIA SPP - GAZANIA
 - *HYPERICUM CALYCEIKUM - CREEPING St. JOHNWORT
 - *OSTEOSPERMUM FRUTICOSUM - TRAILING AFRICAN Daisy
 - *TRACHELOSPERMUM JOHANNIDES - SPR. JASMINE
 - *LANTANA MENTHIVICENSIS - TRAILING LANTANA



- LAWN:**
- *SEE TALL FESCUE MIX.



Plant List

The following plant list recommends plant materials for use in the East Side Commercial Center. Suggested plant materials are selected from the Master Plan Design Guidelines revised list submitted in January, 1986.

<u>Botanical Name</u>	<u>Common Name</u>
<u>LARGE DECIDUOUS SHADE TREES</u>	
Alnus cordata	Italian Alder
Alnus rhombifolia	White Alder
Fraxinus varieties	Ash
Ginkgo biloba "Fairmont"	Ginkgo
Gleditsia triancanthos "Moraine"	Honey Locust
Platanus acerifolia "Bloodgood"	London Plane Tree
<u>BROADLEAF EVERGREENS & CONIFERS</u>	
Acacia melanoxylon	Black Acacia
Cupaniopsis anacardiodes	Carrot Wood
Eucalyptus spp.	Eucalyptus
Lithocarpus densiflora	Tanbark Oak
Melaleuca leucadendra	Cajeput Tree
Metrosideros excelsa	New Zealand Christmas Tree
Myoporum laetum	Myoporum
Pinus spp.	Pine
Quercus ilex	Holly Oak
Tristina conferta	Brisbane Box
<u>FLOWERING ACCENT TREES</u>	
Prunus blireiana	Flowering Plum
Prunus cerasifera	Purple Leaf Plum
Pyrus calleryana "Bradford"	Bradford Pear
Pyrus kawakami	Evergreen Pear
<u>FLOWERING HEDGE/SHRUBS</u>	
Escallonia spp.	Escallonia
Hebe varieties	Hebe
Nerium oleander (dwarf)	Oleander
Raphiolepis india	India Hawthorn
Viburnum tinus "dwarf"	Laurustinus

EVERGREEN GROUND COVER

Baccharis pilularis "Twin Peaks"
Coprosma kirkii
Cotoneaster spp.
Hedra helix
Vinca minor

Dwarf Coyote Bush
Creeping Coprosma
Creeping Cotoneaster
English Ivy
Periwinkle

FLOWERING GROUND COVER

Agapanthus africanus
Ceanothus spp.
Gazania spp.
Hypericum calycinum
Osteospermum fruticosum
Trachelospermum jasminoides
Lantana montevidensis

Lily-of-the-Nile
Wild Lilac
Gazania
Creeping St. Johnwart
Trailing African Daisy
Star Jasmine
Trailing lantana

LAWN

Use tall fescue mix

PROTOTYPICAL TREATMENTS

The following landscape design solutions are meant to be used as general guides for typical landscape situations which occur in the East Side Commercial Center. These solutions should serve only as recommended prototypes which may be modified during the permit review process to suit specific site conditions.

Perimeter Landscape Treatments

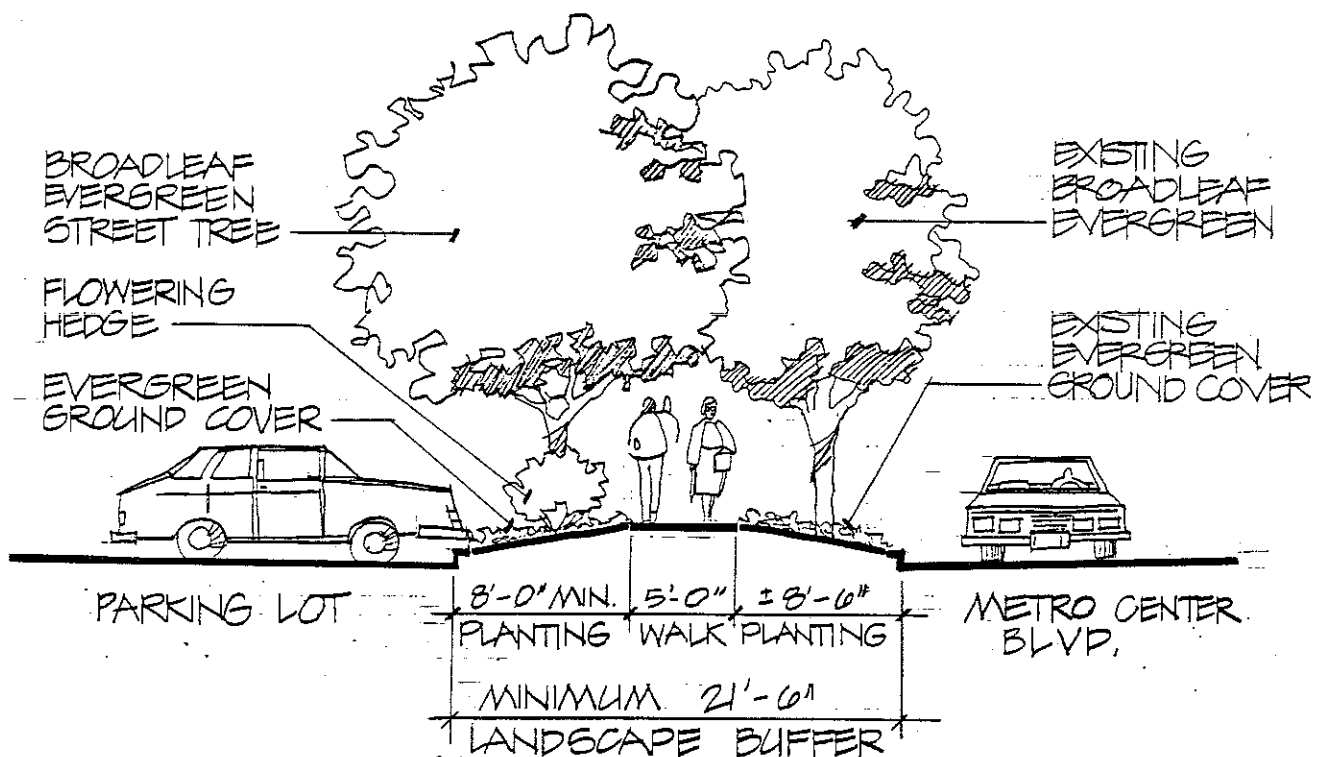
The landscape perimeter areas include the buffer along the southern property line and the landscape treatments along Foster City, Metro Center and Shell Boulevards.

Shell Boulevard

The prototypical treatment for Shell Boulevard is a minimum 15' landscape area with a 5' sidewalk separated from the roadway with tree plantings and ground cover. Along adjacent parking lots a hedge and tree plantings should be provided to screen the view of automobiles, and to provide a protected, continuous tree-lined pedestrian path.

Metro Center and Foster City Boulevards

Along Metro Center and Foster City Boulevards a 21.5' landscape area is proposed with a sidewalk bordered by broadleaf evergreens. Street trees and a hedge should be provided where necessary to screen views of the parking areas.

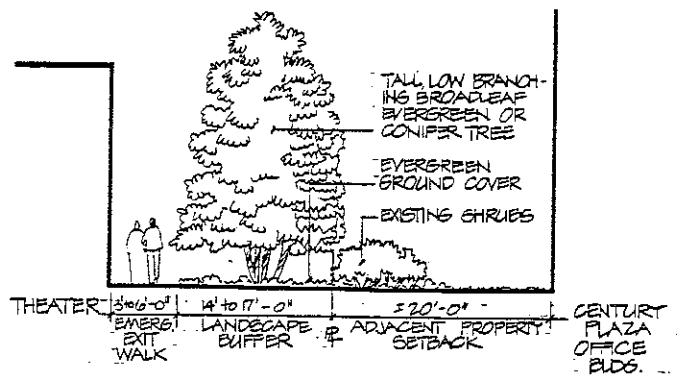
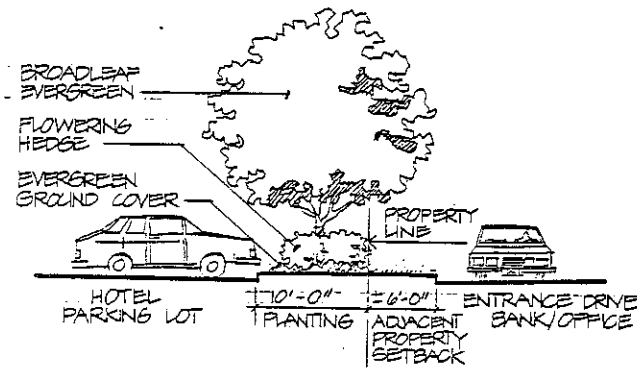


SECTION A

Landscape Easement Along Metro Center and Foster City Blvds.

Southern Property Line

Behind the hotel and day care center a minimum 10' landscape buffer planting should be provided along the property line, whereas behind the theatre building a minimum 20' landscape buffer should be provided. Specifically along the hotel's property line a hedge and broadleaf evergreen/conifer plant is recommended to screen the parking lot. Behind the theatre a low-branching broadleaf evergreen or conifer tree should be provided between the existing office building and theatre. This broadleaf evergreen planting should be continuous along the southern property line with a hedge planting at parking lots to supplement screening.



SECTION C Between Hotel and Wells Fargo Bank

SECTION G

Rear of Theater

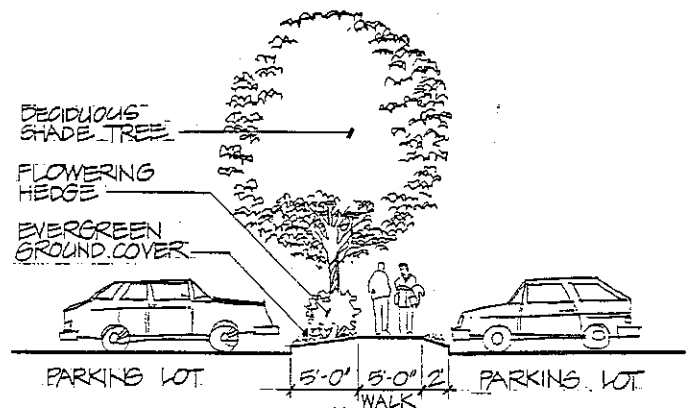
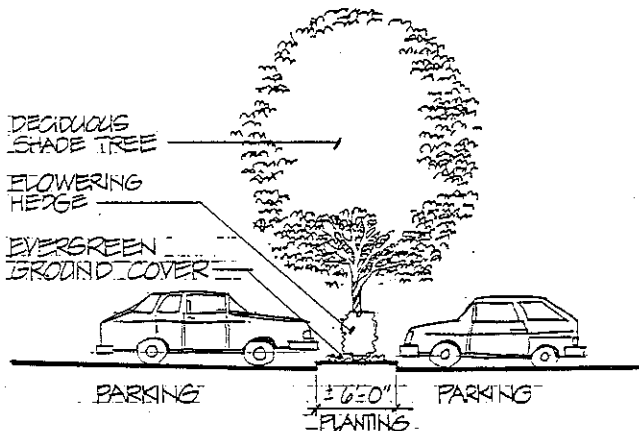
Parking Area Treatments

Four prototypical landscape treatments are proposed for specific surface parking areas within East Side Commercial Center.

Typical Parking Median

At a minimum a 6'-wide continuous landscaped parking island median should be provided between all 90° parking lot bays. Formal rows of trees with a hedge form visual buffers within these median areas.

Where a sidewalk is required in parallel with a median, a minimum 12'-wide area should be provided to include a walk and tree plantings.



SECTION H

SECTION I

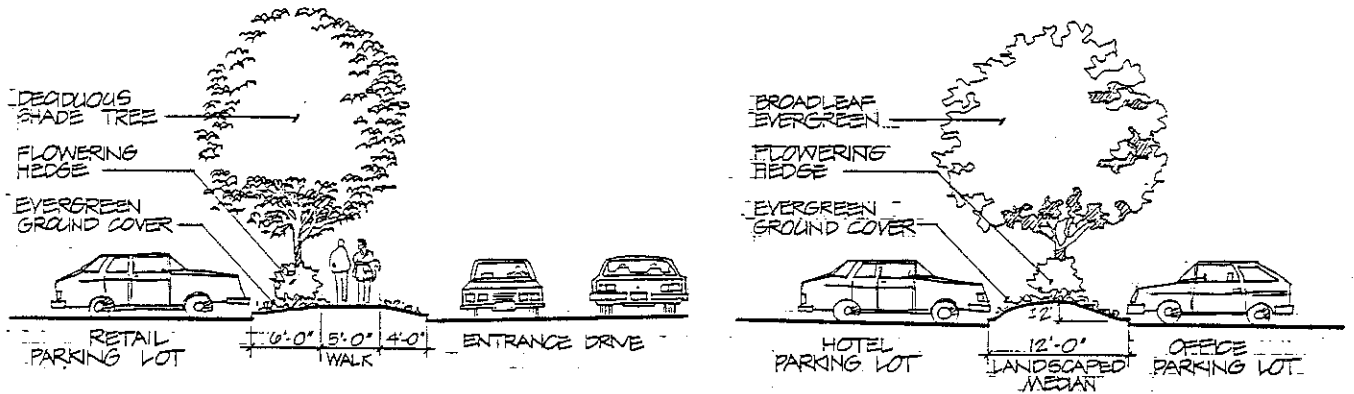
Parking Median with Walk

Island Between Retail and Hotel

A 15' island is proposed between the retail parking lot and hotel drive. Within this island a walk and screen plantings consisting of a tree and hedge create a protected pedestrian path connecting site facilities.

Median Between Hotel and Office

Between the hotel and office parking lots a minimum 12' landscaped screen with a hedge and trees is recommended.



SECTION B

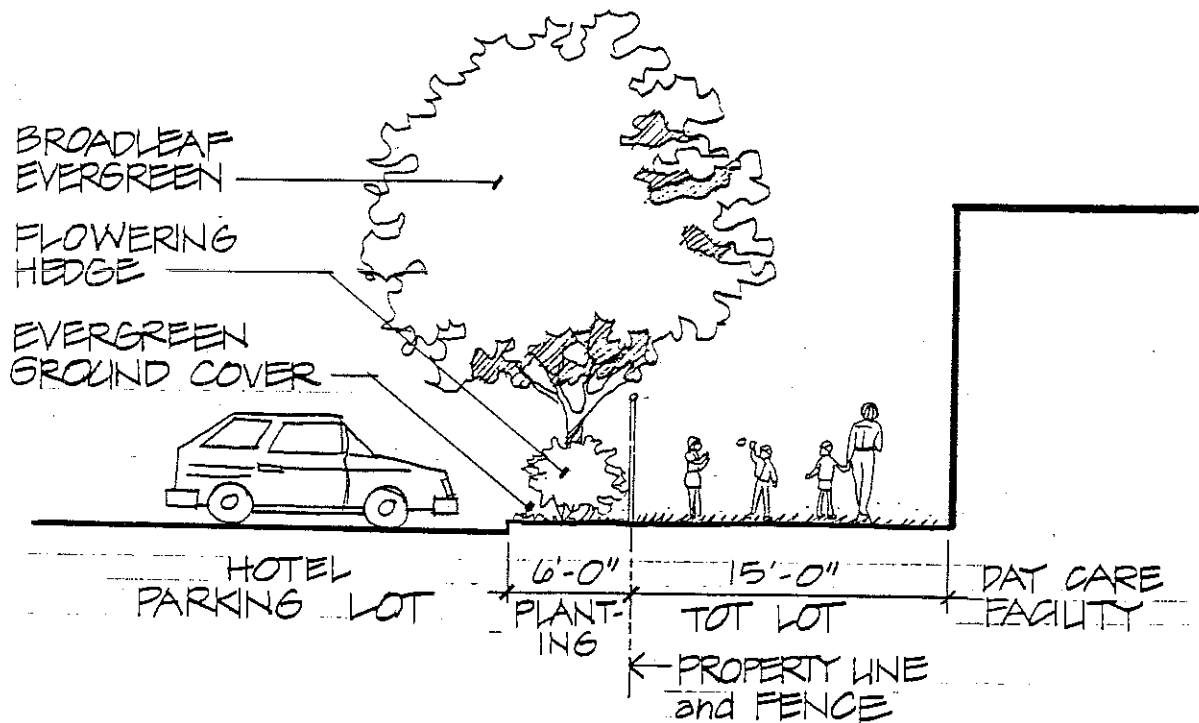
Island Between Retail and Hotel

SECTION D

Median Between Hotel and Office

Between Hotel and Day Care

Between the hotel and day care center tree plantings and a hedge will provide separation and screening for the day care center.

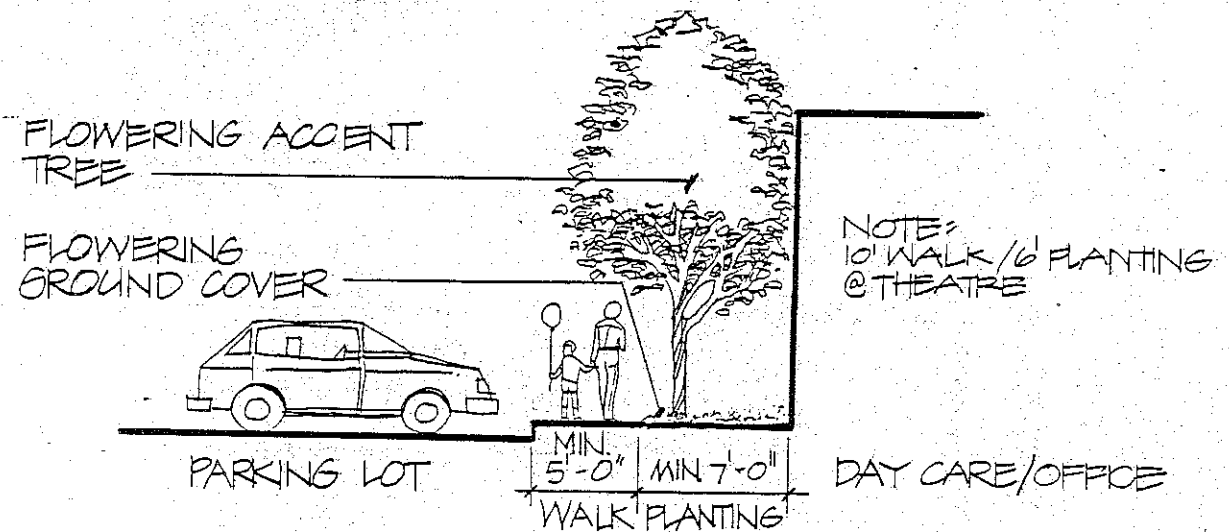


SECTION E

Between Hotel and Day Care

Building Entrance Treatments

Flowering trees and ground cover are recommended at all building entrances to articulate and emphasize the front door of the structure. At the retail, office, and day care center, a minimum 12'-wide setback is suggested including a 6' wide sidewalk with landscaping. At the theatre a wider 16' setback is suggested with a 10'-wide sidewalk to accommodate increased pedestrian traffic during busy show times. At the hotel a vehicular drop-off area consisting of a porte de coche with special paving to define the main building entrance should be provided.



SECTION F

Front of Office/Day Care /Theater

METRO CENTER DESIGN GUIDELINES REFERENCES

The following chart provides an easy reference guide for locating additional applicable information on the Metro Center Design Guidelines. The General Plan Report and Design Guidelines establish the framework and standards for development within East Side Commercial Center.

ARCHITECTURAL GUIDELINES	TOWN CENTER GENERAL PLAN REPORT November, 1983	TOWN CENTER DESIGN GUIDELINES April, 1984
Siting Scale and Character (Height) Massing, Roof and Ground Floor Treatments Facade Treatments Massing Building Setbacks	p. 17 p. 22	p. 14, 15 p. 14, 15 p. 14, 15 p. 7, 14, 15 p. 15 p. 22
<u>LANDSCAPE GUIDELINES</u>		
Landscape Easements Streetscape/Roadway Treatments Parking Lot Landscaping Perimeter Landscaping Plant Materials Irrigation/Erosion Control Pedestrian Circulation Paving Gateways Site Furnishings Lighting Signage	p. 30, 31 p. 30, 31 p. 26, 27 p. 32, 33	p. 22 p. 30, 36, 44 p. 46 p. 41, 42 p. 38 p. 40 p. 32 p. 36 p. 32 p. 39 pp. 47-50