

# City of Foster City

## ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD  
FOSTER CITY, CA 94404-2222  
(650) 286-3200  
FAX (650) 574-3483

September 19, 2006

Ellen Greathouse  
Manager, Martinique Homeowners Association  
The Manor Association  
353 Main Street  
Redwood City, CA 94063

Subject: Prototype Approvals for Decks, Pools, Spas and Solar Panels in Martinique (File # UP-83-024)

Dear Ms. Greathouse:

As part of the original Use Permit, the Martinique Homeowners Association received an approval for a prototypical design for decks, pools and spas as well as solar panels. City and state regulations for these types of improvements have changed since that time:

- On January 21, 1999, the Planning Commission revised their policy on prototype designs for property improvements in planned developments to state that the following types of improvements would not require prototypical designs or Architectural Review permits:
  - Front doors (same size)
  - Decks (non-waterfront, lower than 18", at least 5' from the property line, and in R-1/PD district)
  - Air conditioning condenser units (ground-mounted units on non-waterfront properties in R-1/PD district)
- The City's zoning regulations were changed a few years ago to eliminate the Architectural Review requirement for pools and spas. Pools and spas still require a building permit.
- The State's regulations changed recently to preempt cities from reviewing solar panels for architectural compatibility. Solar panels still require a building permit.

We have conducted a review of existing prototype approvals and note that your planned development has a prototype design approved for one or more of these types of improvements. By copy of this letter, we are informing you that the City will no longer require City Architectural Review of these types of improvements. The homeowners association may continue to regulate these types of improvements pursuant to their CC&Rs.

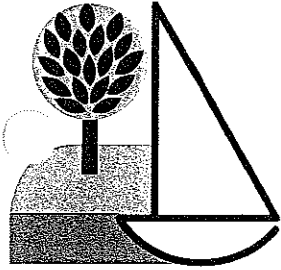
Please contact me at [lcarmichael@fostercity.org](mailto:lcarmichael@fostercity.org) or 650 286-3236 if you need any additional information.

Sincerely,

  
Leslie J. Carmichael  
Planning Manager

Attachment

Prototype approval for decks, pools & spas and solar panels  
Planning Commission Policy No. P-1-94 (Revised January 21, 1999)



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Ellen Greathouse  
Manager, Martinique Homeowners Association  
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353 Main Street  
Redwood City, CA 94063

Subject: Prototype Approvals for Decks in Martinique (File # UP-83-024)

Dear Ms. Greathouse:

As part of the original Use Permit, the Martinique Homeowners Association received an approval for a prototypical design for decks. On January 21, 1999, the Planning Commission revised their policy on prototype designs for property improvements in planned developments to state that the following types of improvements would not require prototypical designs or Architectural Review permits:

- Front doors (same size)
- Decks (non-waterfront, lower than 18", at least 5' from the property line, and in R-1/PD district)
- Air conditioning condenser units (ground-mounted units on non-waterfront properties in R-1/PD district)

The City's zoning regulations had been changed a few years ago to eliminate the Architectural Review requirement for pools and spas. Pools and spas still require a building permit.

The State's regulations changed recently to preempt City's from reviewing solar panels for architectural compatibility. Solar panels still require a building permit.

We have conducted a review of existing prototype approvals and note that your planned development has a prototype design approved for one or more of these types of improvements.

By copy of this letter, we are informing you that the City will no longer require City review of these types of improvements, except that air conditioning units will require a building permit. The homeowners association may continue to regulate these types of improvements pursuant to their CC&Rs.

Please contact me at [lcarmichael@fostercity.org](mailto:lcarmichael@fostercity.org) or 650 286-3236 if you need any additional information.

Sincerely,

Leslie J. Carmichael  
Planning Manager

Attachment

Planning Commission Policy No. P-1-94 (Revised January 21, 1999)  
Prototype approval for decks, pools & spas, and solar panels

## **SOLAR COLLECTORS**

**SOLAR COLLECTORS** shall conform to these guidelines to the city-wide solar collector design guidelines as approved by the Planning Commission and to the Foster City building and zoning code.

### **MATERIALS**

Shop-fabricated: Metal and wood to be painted to match dwelling color and trim.

### **LOCATIONS**

Refer to the city-wide solar collector design guidelines.

### **PRECAUTIONS**

Approval of the Architectural Committee of Martinique Place is required prior to being submitted to the City for processing.

Conform to the City of Foster City guidelines for solar collectors and, additionally, the homeowner must receive approval from the Planning Division and/or Planning Commission prior to installation.

Conform to the Foster City Building and Zoning Codes where applicable.

Structural, mechanical, and water-proofing problems are inherent with this type of construction. Engineering or architectural services are required.

### **NOTE:**

Solar collectors shall until further notice require Planning Commission approval.

## TYPICAL SECTION-SOLAR COLLECTOR PANELS

SOLAR PANELS, EITHER BOXED AND GLAZED OR FABRIC LAID FLAT TO SLOPING ROOF, PLACED SUCH THAT THE PANELS DO NOT EXCEED THE HEIGHT OF THE ROOF RIDGE.

ALL PIPING CONCEALED FROM VIEW, PROCEEDS DIRECTLY INTO ATTIC SPACES. THOROUGHLY WATER-PROOF ALL ROOF PERFORATIONS. PIPING REQUIRED FOR OUT OF DOORS USE PROCEEDS THROUGH OUTSIDE WALLS AND DOWN AT ROOF DOWNSPOUTS, WALL CORNERS, OR CHIMNEYS. PAINT ALL PIPING TO MATCH HOUSE AND TRIM. →

