

*City of Foster City*

ESTERO MUNICIPAL IMPROVEMENT **RECEIVED**

610 FOSTER CITY BOULEVARD  
FOSTER CITY, CA 94404-2222  
(650) 286-3200  
FAX (650) 574-3483

**FOSTER CITY**

**RECEIVED**

DEC 03 2001

**PLANNING  
DIVISION**

**RECEIVED**  
NOV 30 2001  
BY:

CITY OF FOSTER CITY  
COMMUNITY DEVELOPMENT DIRECTOR'S ACTION  
NOTICE OF DECISION

APPLICATION RECEIVED: November 6, 2001

APPLICATION COMPLETE: November 26, 2001

ACTION DATE: November 27, 2001

CASE NO.: UP-73-007D

OWNER: Island I Homeowner's Association

OWNER ADDRESS: 655 Mariners Island Blvd. #301, San Mateo, CA 94404

APPLICATION FOR: Prototype Design for Bedroom Window Replacement

LOCATION: Island I Planned Development

ZONING: R-3/PD (Medium Density Multiple Family Residence/Planned Development) District

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City, took the action described above on the subject Architectural Review application based on the following findings:

1. That the proposal to establish a prototype design for the replacement of bedroom windows in the Island I Planned Development, as conditioned in Exhibit A and illustrated in Exhibit B is consistent with the Foster City General Plan and Title 17, Zoning, and Chapter 2.28, Planning, of the Foster City Municipal Code because the proposed prototypical design will maintain the existing appearance of residential units in the development, will allow for necessary maintenance and repair of houses, will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goal (LUC-A) and Land Use Policies (LUC-38 and LUC-39) contained in the Land Use and Circulation Element of the Foster City General Plan, and will be consistent with the residential use of the residences in the development.
2. That the design of the proposal is appropriate to the City, the neighborhood and the lot in which it is proposed because the design, colors, and materials of the prototypical window replacement will be compatible with the architectural style, character, and proportions of residential units in the development and they will be in keeping with similar improvements in the neighborhood.

3. That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code because 1) the prototypical design will provide guidelines to ensure that window(s) and door(s) replacements are orderly and consistent for all residential units in the development, and therefore, the overall architectural style and characteristics throughout the planned development will be preserved; 2) the size of the replacement windows will be the same size as the existing windows; 3) the replacement bedroom window will be located in the same location as the existing bedroom window; 3) the frame color of the replacement window will match the frame color of the existing windows.
  
4. That the proposal will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City because the prototypical design will ensure that all residential units maintain similar architectural characteristics, will meet the requirements of Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code, and will not have detrimental visual impacts on the neighborhood, the planned development, or the property values in the area.

This action is subject to any conditions contained in Exhibit A, attached.

#### Expiration

Any Architectural Review approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

#### Appeal

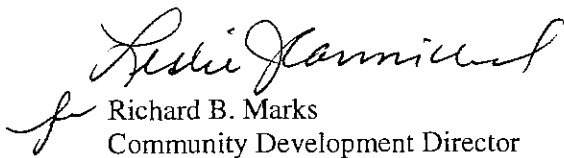
Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

#### Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

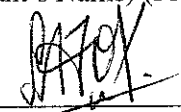
In order to demonstrate that you are aware of and understand the Architectural Review conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records.

Sincerely,

  
Richard B. Marks  
Community Development Director

Planners Initials: ECF

STEPHEN A. FOX, AGENT  
(Applicant's Name) (Please Print)

  
\_\_\_\_\_  
(Applicant's Signature)

## EXHIBIT A

### ISLAND I HOMEOWNERS' ASSOCIATION Prototypical Design Guidelines for Bedroom Window Replacement

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The following guidelines shall govern the installation and replacement of bedroom windows in the Island I Planned Development:

#### **CONDITIONS OF APPROVAL**

1. All construction shall be designed, constructed, installed, and maintained in a professional manner. All construction shall be designed, constructed, installed and maintained in a professional manner and appearance.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. All vents, gutters, downspouts, flashings, etc. shall be painted to match the color of adjacent surfaces. No electrical conduits or similar piping shall be allowed on the exterior of the building unless approved prior to installation by the Community Development Director.
4. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
5. Prior to installation, a building permit shall be obtained from the Building Inspection Division. Four (4) sets of final drawings shall be submitted with the building permit application.
6. Prior to any final building inspection approval, any imposed conditions and all improvements shall be completed to the satisfaction of the City.
7. All architectural elements such as soffits, screens, etc., not shown or detailed on the plans shall be finished in a material and color in harmony with the exterior of the building.
8. The replacement bedroom window shall be the same size as the existing bedroom window.
9. The frame color and glazing of the replacement window shall match the glazing and frame color of the existing windows.

#### **APPROVAL PROCESS**

1. The homeowner/applicant shall obtain an approval letter from the Longwater Homeowners' Association for the proposed bedroom window replacement. The letter shall indicate that the proposed changes conform with the established design criteria of the prototype.
2. The homeowner or contractor shall apply for a Building Permit from the Building Inspection Division and shall submit any required drawings and fees, including the approval letter from the Island I Homeowners' Association.

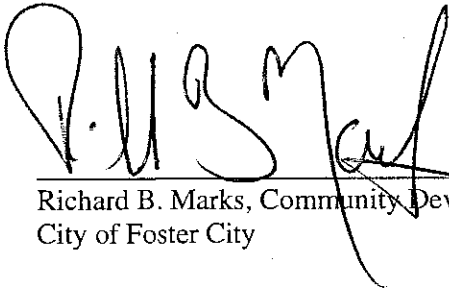
3. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved for the replacement bedroom window.



\_\_\_\_\_  
Steve Fox, Managing Agent  
PML Management Company for  
Island I Homeowners' Association

11-30-01

\_\_\_\_\_  
Date



\_\_\_\_\_  
Richard B. Marks, Community Development Director  
City of Foster City

12/18/01

\_\_\_\_\_  
Date

# EXHIBIT B

Milgard Aluminum

# options

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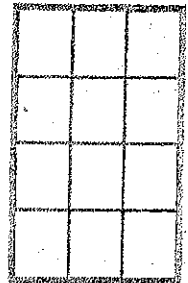
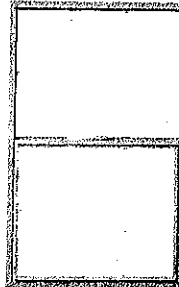
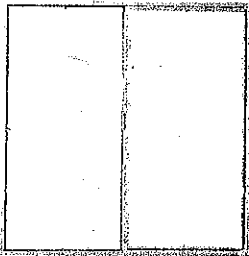
From energy saving features and appearance options to the abundance of styles shown below, Milgard offers the options to personalize the windows for your home or project. For more information on the options displayed here, please speak with your Milgard representative or visit our website at [www.milgard.com](http://www.milgard.com).

*Bedroom Style Change*

styles

*Existing*

*Proposal*



**Sliders**

A popular style for contemporary homes, sliders are typically used for bedrooms requiring egress. They can be combined with picture windows for larger, more unique window configurations.

**Single Hung**

More traditional in appearance, these windows slide vertically and are reminiscent of old style sash windows. Single hungs can be used alone, or combined with picture windows for more impact.

**Picture Window**

A perfect selection for view homes designed to capture maximum glazing areas with no center bar to interfere with the beauty outside. These windows do not open, so they must be combined with other windows that allow for ventilation and egress.

*UP-73-007D*

NOV 27 2001

*Harmon*

ADMINISTRATIVE APPROVAL  
WITH CONDITIONS

colors

Not all colors available in all Milgard locations. Color is for approximation only, due to printing limitations.



Sand



White



Black

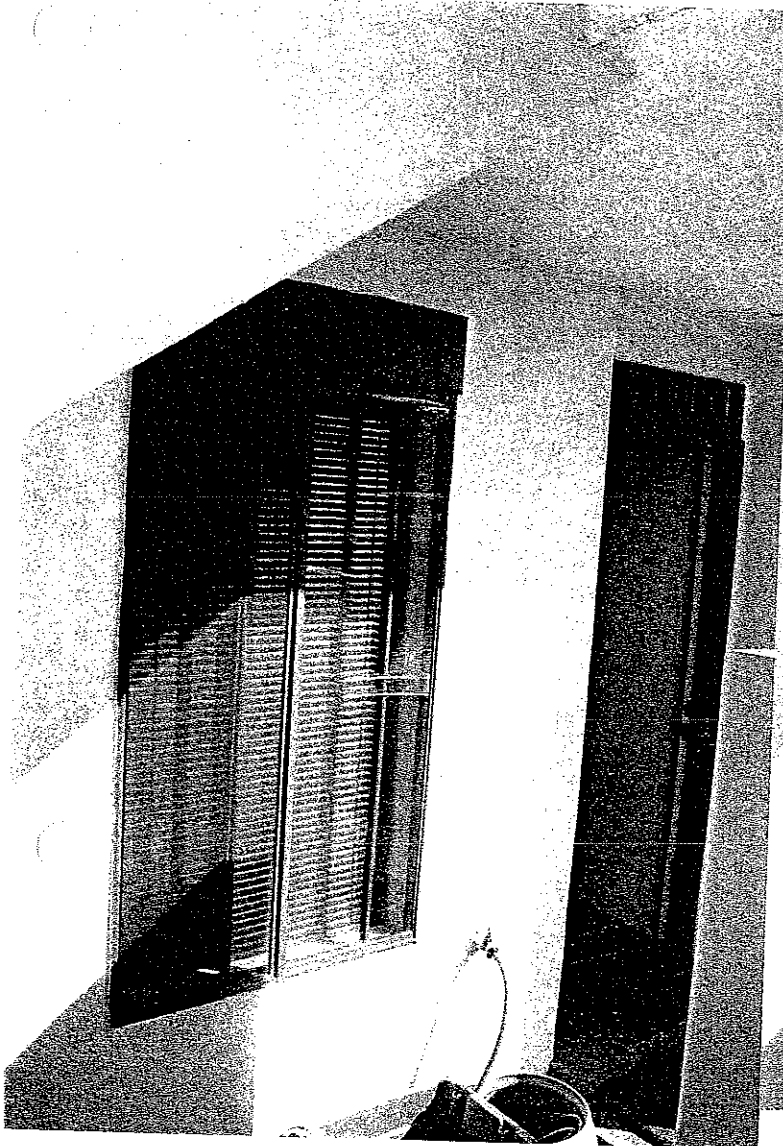


Clear Anodized

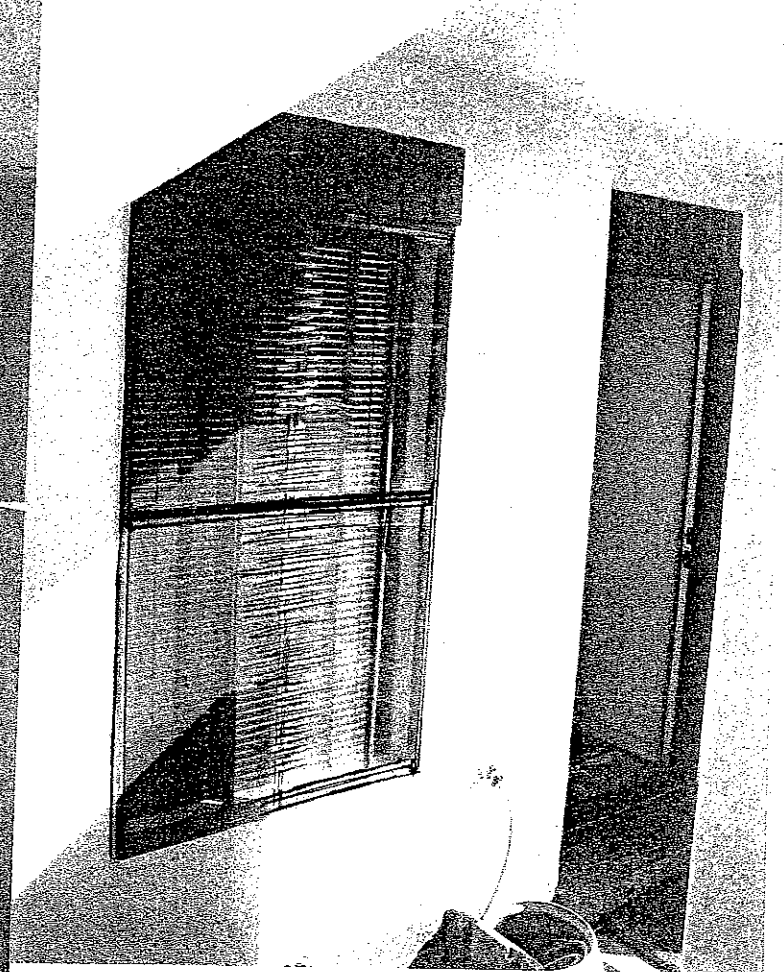
FOSTER CITY  
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NOV 06 2001

PLANNING  
DIVISION



ORIGINAL WINDOW



NEW WINDOW

UP-73-007D  
CITY OF FOSTER CITY  
PLANNING DEPARTMENT

NOV 27 2001  
*Scamif*  
ADMINISTRATIVE APPROVAL  
WITH CONDITIONS *ECF*

ISLAND "I" HOA  
PROTOTYPICAL APPLICATION  
TO MODIFY WINDOW  
1047 LIDO & SIMILAR MODELS