



*City of Foster City*

**ESTERO MUNICIPAL IMPROVEMENT DISTRICT**

610 FOSTER CITY BOULEVARD  
FOSTER CITY, CA 94404-2222

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CODE ENFORCEMENT**

**CITY OF FOSTER CITY  
COMMUNITY DEVELOPMENT DIRECTOR'S ACTION  
NOTICE OF DECISION**

APPLICATION RECEIVED: October 16, 2014

APPLICATION COMPLETE: October 16, 2014

ACTION DATE: November 19, 2014

CASE NO: UP-73-0080

OWNER: The Manor Association, Inc.

ADDRESS: c/o The Manor Association, Attn: Selina Ong, 353 Main Street,  
Redwood City, CA 94063

APPLICANT: Cheryl Gregory, IJ Architectural Committee, 833 Balboa Lane, Foster  
City, CA 94063

APPLICATION FOR: Handrails Prototype

LOCATION: Island J Planned Development

ZONING: R-3/PD (Medium Density Multiple Family Residence/Planned  
Development District)

CEQA DETERMINATION: Exempt pursuant to CEQA Section 15301, Existing Facilities

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City took the action described above on the subject Architectural Review application based on the following findings:

1. The proposal to establish a prototype design for installation and replacement of handrails, as conditioned and illustrated in Exhibits A and B, would be consistent with the Foster City General Plan, Chapter 17.18 (R-3 Medium Density Multiple-Family Residence District) of Title 17 (Zoning), and Chapter 2.28 (Planning) of Title 2 (Administration and Personnel) of the Foster City Municipal Code, because the prototype design: 1) will be sympathetic to the character and style of the existing residences and will be designed to be harmonious with the existing neighborhood and therefore, will promote "proper site planning, architectural design and property maintenance" and will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goals (LUC-A and LUC-B) and Land Use Policies (LUC-38 and LUC-39) contained in the Land Use and Circulation Element of the Foster City General Plan; 2) will be integrated into the existing buildings and designed such that the architectural

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character of the residences are maintained and such that solar and privacy impacts will not be created on adjacent properties, consistent with Section 2.28.010 of the Foster City Municipal Code; and 3) will improve a typical residential use consistent with the Land Use Plan designation of Condo.

2. That the design of the proposal would be consistent with and appropriate to the City, the neighborhood, and the lot on which they are proposed because the design, black rail color, style, width and materials of the handrails will be compatible with the style, character and proportions of residential units in the development and will be in keeping with similar improvements in the neighborhood and consistent with the California Building Code requirements.
3. That the design of the proposal, as conditioned in Exhibit A, would be compatible with the site's environment with respect to use, forms, materials, colors, location, height, design or similar qualities as specified in Section 17.58.010 of Chapter 17.58 (Architectural Control and Supervision) because 1) the prototypical design guidelines will provide guidelines to ensure that the installation and replacement of handrails are orderly and consistent for all residential units in the development, and therefore, the overall architectural style and characteristics throughout the planned development will be preserved; and 2) the replacement handrails will be located in the same location as the existing handrails; and, will be compatible with the architectural style of the residences in the Island J planned development.
4. That the proposal would not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood, property values in the area, or the general welfare of the City because the proposed prototypical design guidelines for the replacement of handrails in the Island J development will ensure that all residential units within the planned development maintain similar architectural characteristics, will meet the requirements of Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code and the California Building Code, and will not have detrimental visual impacts on the neighborhood, the planned development, or property values in the area and will encourage the proper installation and replacement of handrails in the development.

This action is subject to the conditions and illustrations contained in Exhibits A and B attached.

#### Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

#### Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Architectural Review conditions of approval (attached hereto as Exhibit A), **please sign the original of this letter and return it to the Planning/Code Enforcement Division.** Please keep the duplicate for your records. *Please be*

advised that a Building Permit **will not** be issued until the Planning/Code Enforcement Division has received the signed Notice of Decision.

Sincerely,



for Curtis Banks  
Community Development Director

Planners Initials: kak

SELINA ONG - AGENT FOR ISLAND J HOA  
(Owner's Name) (Please Print)

Selina Ong  
(Owner's Signature)

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**EXHIBIT A**

**ISLAND J HOMEOWNERS' ASSOCIATION**  
Prototypical Design Guidelines for Handrails

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The following guidelines shall govern the replacement or installation of handrails in the Island J Planned Development:

**CONDITIONS OF APPROVAL**

1. All construction shall be located, designed, constructed, installed, and maintained in a professional manner and appearance.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. All vents, gutters, downspouts, flashings, soffits, screens etc. shall be painted to match the color of the adjacent surfaces. No electrical conduits or similar piping shall be allowed on the exterior of the building unless approved prior to installation by the Community Development Director.
4. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
5. Prior to any final inspection approval, these conditions and all improvements shall be completed in accordance with the approved plans and conditions of approval to the satisfaction of the City.
6. All architectural elements such as soffits, screens, etc. not shown or detailed on the plans shall be finished in a material and color in harmony with the exterior of the building.
7. **All handrails shall meet the requirements of the California Building Code.**
8. **The handrails shall be painted black per Homeowners Association requirements.**
9. **Handrails shall be installed as specified in the attached Exhibit B for Buildings Type 1 and 2.**


**Bold indicates site specific condition**

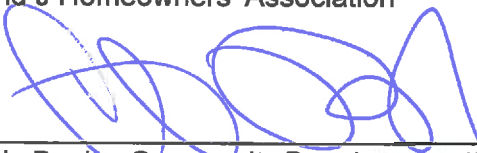
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**APPROVAL PROCESS**

1. The approval process is as follows:
  - The homeowner/applicant shall obtain a letter of approval from the Island J Homeowners' Association for the proposed handrail installation or replacement. The letter shall indicate that the proposed changes conform to the established design criteria of the prototype.
  - The homeowner/contractor shall apply for a Building Permit from the Foster City Building Department and shall submit any required drawings and fees, including a site plan, photos of the proposed location for the handrail installation and the approval letter from the Island J Homeowners' Association.
2. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved.
3. Following the completion of construction, the applicant shall request a final inspection from the Community Development Department.

  
\_\_\_\_\_  
Selina Ong, Managing Agent  
The Manor Association, for  
Island J Homeowners' Association

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Curtis Banks, Community Development Director  
City of Foster City

  
\_\_\_\_\_  
Date

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# ISLAND "J"

Homeowners' Association



October 6, 2014

City of Foster City

Estero Municipal Improvement District

610 Foster City Boulevard

Foster City, CA 94080-222

Attention: Christina Horrisberger

RE: Island J Homeowner's Association – Establishment of Handrail Prototype

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PLANNING DEPARTMENT

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ADMINISTRATIVE APPROVAL  
WITH CONDITIONS

To Whom It May Concern,

The Island J HOA Board of Directors wishes to establish a Handrail Prototype that:

1. Documents the specifications for handrails as approved and installed in the 2013-2104 construction project on Island J. Replacement handrails should meet these specifications.
2. Establish specifications for additional handrails homeowners may elect to install as needed or desired by the owner.
3. Establish specifications for handrails for center stair, lower platform to street, should renovations trigger code requirements for handrails.

Included please find:

1. Building Type 1 and 2 Center Stair Repair Stair Plan and Elevations Prototype Drawings: Project no. 100802.2014 (two pages): for specifications. On these sheets, handrails in connected line are those installed as part of the construction project. Handrails in dotted line are those homeowners may elect to install. Specifications and installation requirements are included.
2. Island J Building Style and Address Identification Inventory and Island J map: For identification of unit type by address.
3. Images of handrails as installed in the 2013-2014 construction project.

Signed *Debra Corazzelli*

For Island J HOA Board of Directors

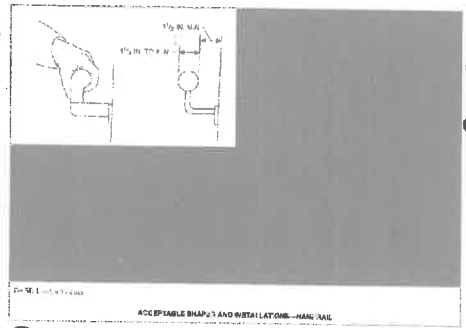
Printed Name DEBRA CORAZZELLI

Address 859 BALBOA LN FC 94404

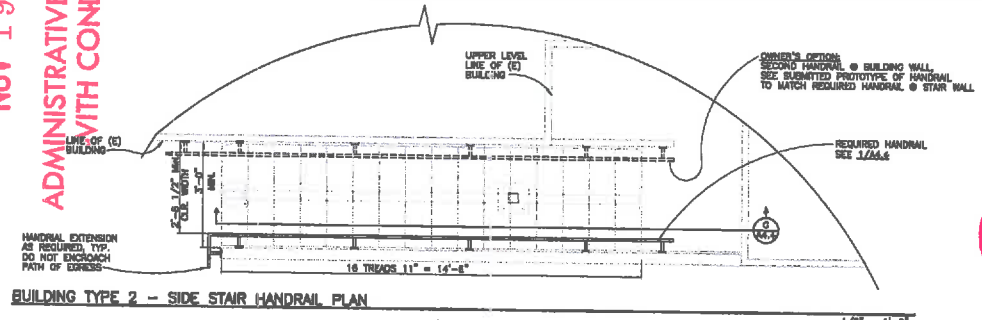
Email OSUDebbie@aol.com



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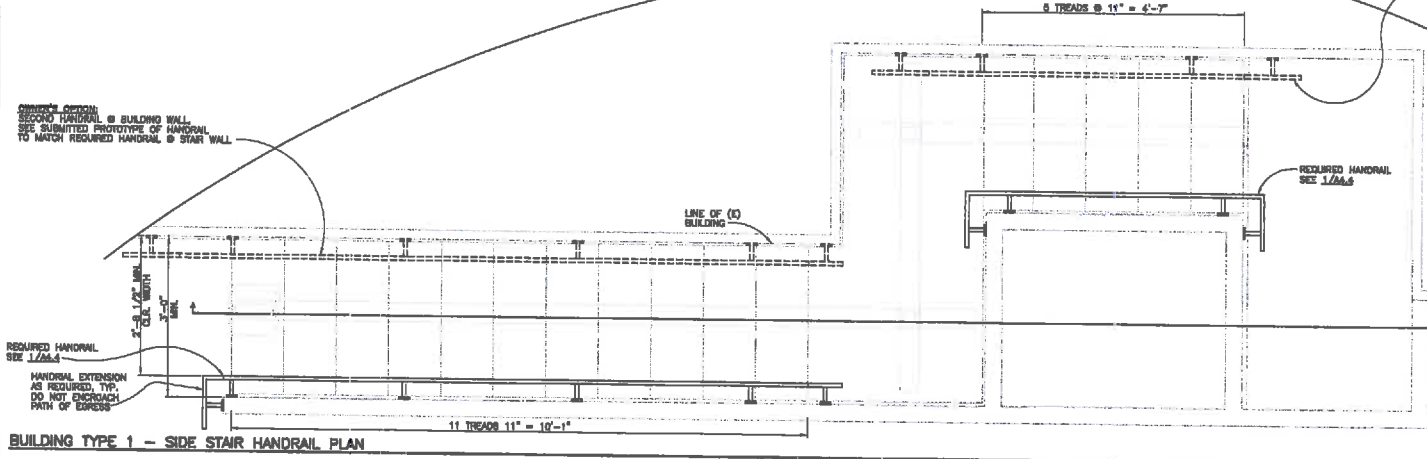


4.4 HANDRAIL OPTIONS  
 N.T.S.



FILE COPY

|             |             |
|-------------|-------------|
| DATE        | 7/21/14     |
| DESIGNED BY | REVIEW      |
| CHECKED BY  |             |
| PROJECT NO. | 100802.2014 |
| SHEET NO.   | 2           |



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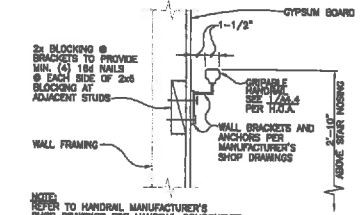
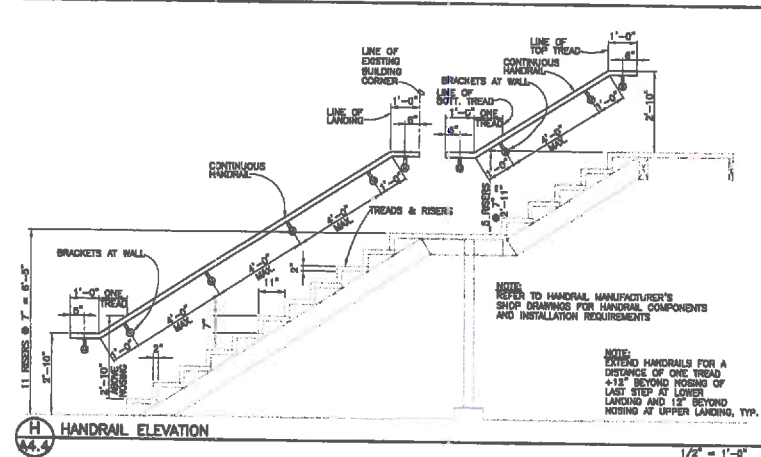
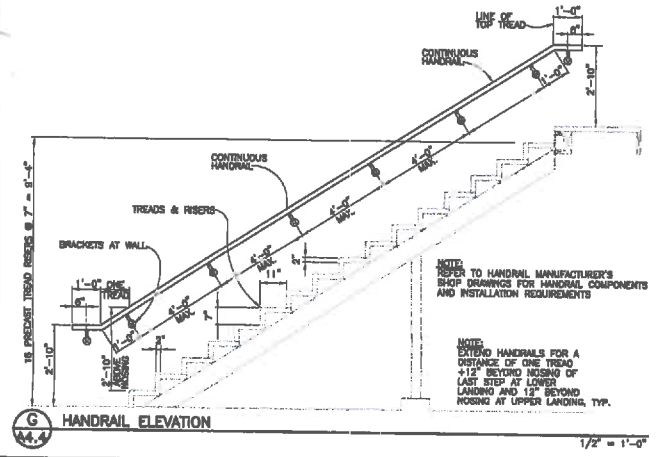
OUTLICI ENGINEERS, INC.  
 30 Union Avenue, Suite 200  
 Campbell, California 95008  
 Tel: (408) 868-0828 Fax: (408) 868-0829

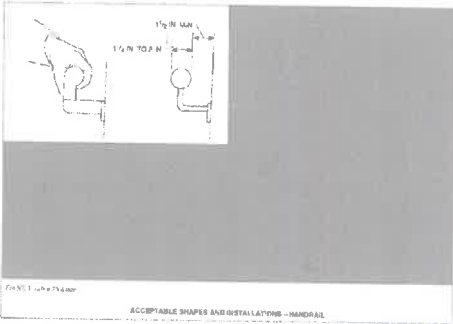
CS&S ENGINEERS & ARCHITECTS INC.  
 521 Chestnut Ave  
 San Jose, CA 95131

ISLAND J.H.O.A.  
 BALBOA LANE &  
 PORTOFINO LANE  
 FOSTER CITY, CALIFORNIA

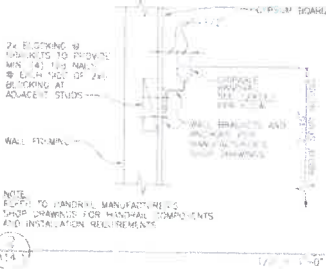
BUILDING TYPE 1 & 2  
 SIDE STAIR REPAIR  
 STAIR PLAN AND  
 ELEVATIONS  
 PROTOTYPE DWG

SCALE 1/4" = 1'-0"  
 DATE 7/21/14  
 PROJECT NO. 100802.2014  
 SHEET NO. RAILING PROTOTYPE  
 1 OF 2 SHEETS





ACCEPTABLE SHAPES AND INSTALLATIONS - HANDRAIL  
HANDRAIL OPTIONS

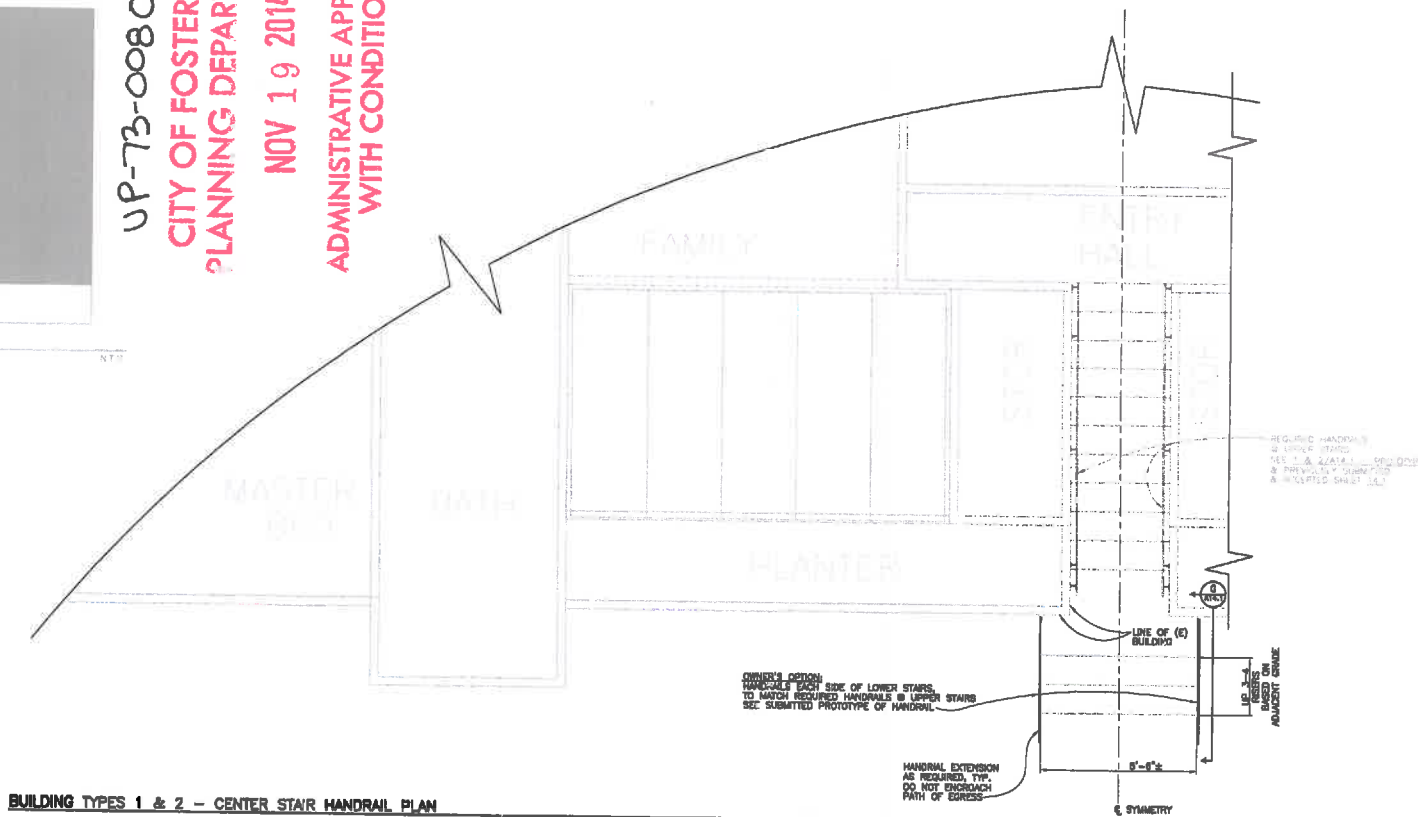


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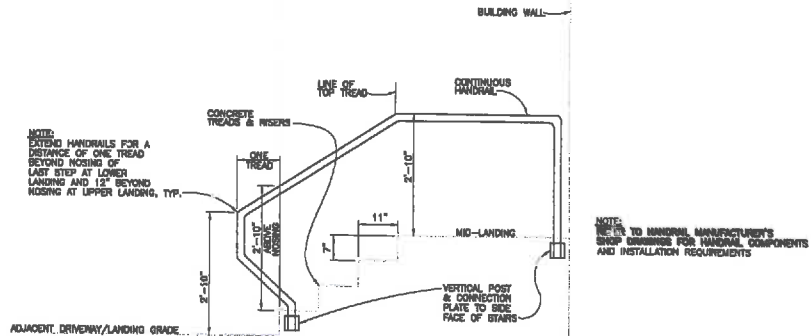
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WITH CONDITIONS



BUILDING TYPES 1 & 2 - CENTER STAIR HANDRAIL PLAN

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PROTOTYPE HANDRAIL ELEVATION

|                   |             |
|-------------------|-------------|
| DATE              | 7/21/14     |
| ISSUED FOR REVIEW | 1           |
| PROJECT NO.       | 108003-2014 |
| DRAWN BY          | ...         |
| CHECKED BY        | ...         |
| SCALE             | ...         |

**QUILICI ENGINEERS, INC.**  
30 Union Avenue, Suite 200  
Campbell, California 95008  
Tel: (408) 888-0888 Fax: (408) 888-0889  
www.quiliceng.com

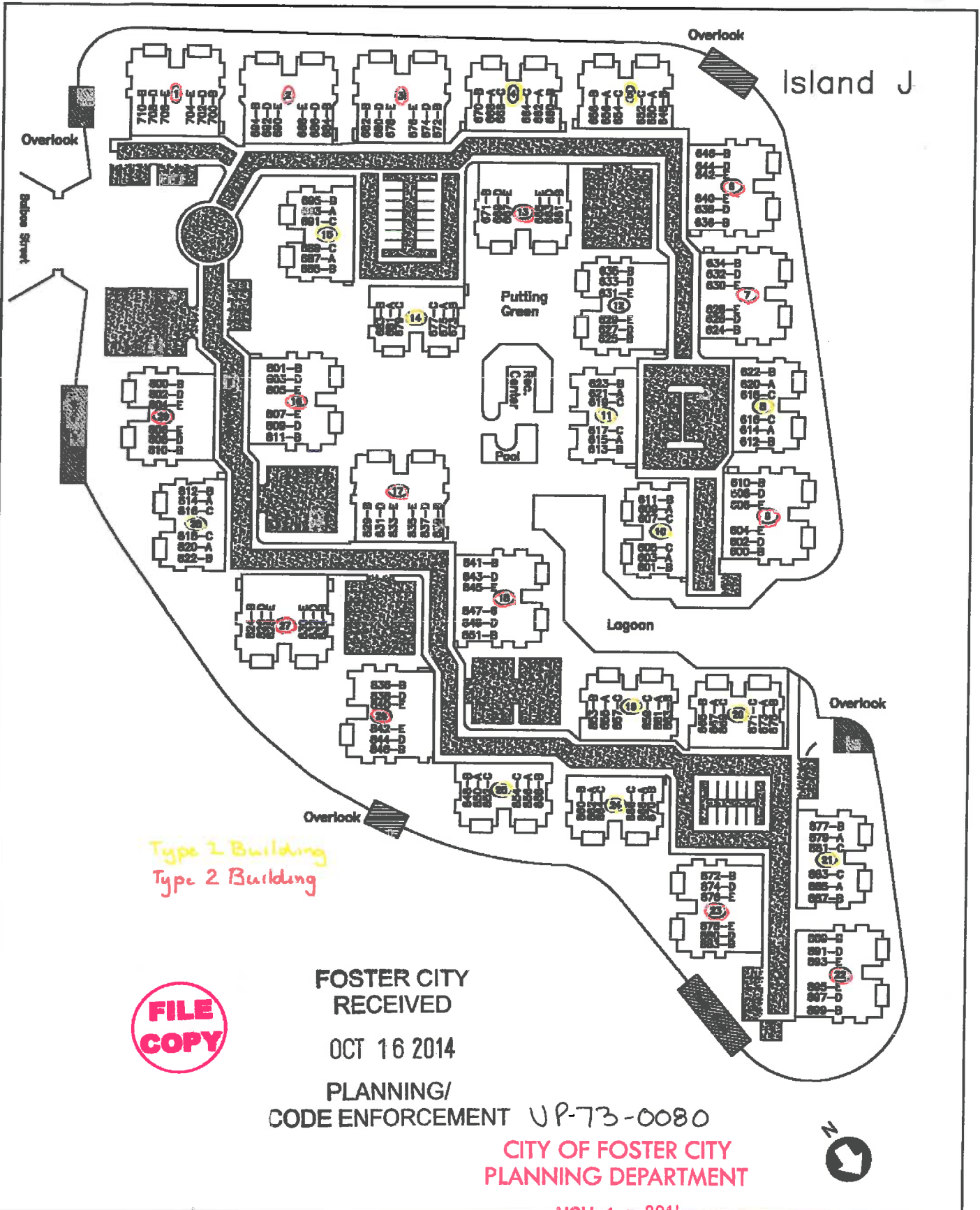
**C.L. SICKLER & INC.**  
521 Clay Street  
San Jose, CA 95131

**ISLAND J. HOA.**  
BALBOA LAKE & GOLF COURSE  
FOSTER CITY, CALIFORNIA

**BUILDING TYPE 1 & 2  
CENTER STAIR REPAIR  
STAIR PLAN AND  
ELEVATIONS  
PROTOTYPE DWG**

|                          |              |
|--------------------------|--------------|
| SCALE                    | 1/4" = 1'-0" |
| DATE                     | 7/21/14      |
| PROJECT NO.              | 108003-2014  |
| SHEET NO.                | 2 OF 2       |
| <b>RAILING PROTOTYPE</b> |              |





Type 1 Building  
 Type 2 Building

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**Island J Building Style and Address Identification Inventory**

|                      |     |                       |     |        |        |     |     |     |     |
|----------------------|-----|-----------------------|-----|--------|--------|-----|-----|-----|-----|
| <b>BUILDING NO.</b>  | 1   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   | Stairs | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 710 | 708                   | 706 |        | 704    | 702 | 700 |     |     |
| <b>BUILDING NO.</b>  | 2   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   |        | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 694 | 692                   | 690 | Stairs | 688    | 686 | 684 |     |     |
| <b>BUILDING NO.</b>  | 3   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   |        | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 682 | 680                   | 678 | Stairs | 676    | 674 | 672 |     |     |
| <b>BUILDING NO.</b>  | 4   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 1   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | A                     | C   | C      | Stairs | C   | C   | A   | B   |
| <b>ADDRESS</b>       | 670 | 668                   | 666 | 666    |        | 664 | 664 | 662 | 660 |
| <b>BUILDING NO.</b>  | 5   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 1   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | A                     | C   | C      |        | C   | C   | A   | B   |
| <b>ADDRESS</b>       | 658 | 656                   | 654 | 654    | Stairs | 652 | 652 | 650 | 648 |
| <b>BUILDING NO.</b>  | 6   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   |        | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 646 | 644                   | 642 | Stairs | 640    | 638 | 636 |     |     |
| <b>BUILDING NO.</b>  | 7   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   |        | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 634 | 632                   | 630 | Stairs | 628    | 626 | 624 |     |     |
| <b>BUILDING NO.</b>  | 8   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 1   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | A                     | C   | C      |        | C   | C   | A   | B   |
| <b>ADDRESS</b>       | 622 | 620                   | 618 | 618    | Stairs | 616 | 616 | 614 | 612 |
| <b>BUILDING NO.</b>  | 9   | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 2   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | D                     | E   |        | E      | D   | B   |     |     |
| <b>ADDRESS</b>       | 610 | 608                   | 606 | Stairs | 604    | 602 | 600 |     |     |
| <b>BUILDING NO.</b>  | 10  | <b>PORTOFINO LANE</b> |     |        |        |     |     |     |     |
| <b>BUILDING TYPE</b> | 1   |                       |     |        |        |     |     |     |     |
| <b>UNIT</b>          | B   | A                     | C   | C      |        | C   | C   | A   | B   |
| <b>ADDRESS</b>       | 601 | 603                   | 605 | 605    | Stairs | 607 | 607 | 609 | 611 |



|               |     |                |     |        |        |     |     |     |     |
|---------------|-----|----------------|-----|--------|--------|-----|-----|-----|-----|
| BUILDING NO.  | 11  | PORTOFINO LANE |     |        |        |     |     |     |     |
| BUILDING TYPE | 1   |                |     |        |        |     |     |     |     |
| UNIT          | B   | A              | C   | C      | C      | C   | A   | B   |     |
| ADDRESS       | 613 | 615            | 617 | 617    | Stairs | 619 | 619 | 621 | 623 |
| BUILDING NO.  | 12  | PORTOFINO LANE |     |        |        |     |     |     |     |
| BUILDING TYPE | 2   |                |     |        |        |     |     |     |     |
| UNIT          | B   | D              | E   | E      | E      | D   | B   |     |     |
| ADDRESS       | 625 | 627            | 629 | Stairs | 631    | 633 | 635 |     |     |
| BUILDING NO.  | 13  | PORTOFINO LANE |     |        |        |     |     |     |     |
| BUILDING TYPE | 2   |                |     |        |        |     |     |     |     |
| UNIT          | B   | D              | E   | E      | E      | D   | B   |     |     |
| ADDRESS       | 661 | 663            | 665 | Stairs | 667    | 669 | 671 |     |     |
| BUILDING NO.  | 14  | PORTOFINO LANE |     |        |        |     |     |     |     |
| BUILDING TYPE | 1   |                |     |        |        |     |     |     |     |
| UNIT          | B   | A              | C   | C      | C      | C   | A   | B   |     |
| ADDRESS       | 673 | 675            | 677 | 677    | Stairs | 679 | 679 | 681 | 683 |
| BUILDING NO.  | 15  | PORTOFINO LANE |     |        |        |     |     |     |     |
| BUILDING TYPE | 1   |                |     |        |        |     |     |     |     |
| UNIT          | B   | A              | C   | C      | C      | C   | A   | B   |     |
| ADDRESS       | 685 | 687            | 689 | 689    | Stairs | 691 | 691 | 693 | 695 |
| BUILDING NO.  | 16  | BALBOA LANE    |     |        |        |     |     |     |     |
| BUILDING TYPE | 2   |                |     |        |        |     |     |     |     |
| UNIT          | B   | D              | E   | E      | E      | D   | B   |     |     |
| ADDRESS       | 801 | 803            | 805 | Stairs | 807    | 809 | 811 |     |     |
| BUILDING NO.  | 17  | BALBOA LANE    |     |        |        |     |     |     |     |
| BUILDING TYPE | 2   |                |     |        |        |     |     |     |     |
| UNIT          | B   | D              | E   | E      | E      | D   | B   |     |     |
| ADDRESS       | 829 | 831            | 833 | Stairs | 835    | 837 | 839 |     |     |
| BUILDING NO.  | 18  | BALBOA LANE    |     |        |        |     |     |     |     |
| BUILDING TYPE | 2   |                |     |        |        |     |     |     |     |
| UNIT          | B   | D              | E   | E      | E      | D   | B   |     |     |
| ADDRESS       | 841 | 843            | 845 | Stairs | 847    | 849 | 851 |     |     |
| BUILDING NO.  | 19  | BALBOA LANE    |     |        |        |     |     |     |     |
| BUILDING TYPE | 1   |                |     |        |        |     |     |     |     |
| UNIT          | B   | A              | C   | C      | C      | C   | A   | B   |     |
| ADDRESS       | 853 | 855            | 857 | 857    | Stairs | 859 | 859 | 861 | 863 |
| BUILDING NO.  | 20  | BALBOA LANE    |     |        |        |     |     |     |     |
| BUILDING TYPE | 1   |                |     |        |        |     |     |     |     |
| UNIT          | B   | A              | C   | C      | C      | C   | A   | B   |     |
| ADDRESS       | 865 | 867            | 869 | 869    | Stairs | 871 | 871 | 873 | 875 |

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*11P-73 mba 0*



**BUILDING NO.** 21 **BALBOA LANE**  
**BUILDING TYPE** 1  
**UNIT** B A C C C C A B  
**ADDRESS** 877 879 881 881 Stairs 883 883 885 887

**BUILDING NO.** 22 **BALBOA LANE**  
**BUILDING TYPE** 2  
**UNIT** B D E E D B  
**ADDRESS** 889 891 893 Stairs 895 897 899

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**BUILDING NO.** 23 **BALBOA LANE**  
**BUILDING TYPE** 2  
**UNIT** B D E E D B  
**ADDRESS** 882 880 878 Stairs 876 874 872

**BUILDING NO.** 24 **BALBOA LANE**  
**BUILDING TYPE** 1  
**UNIT** B A C C C C A B  
**ADDRESS** 870 868 866 866 Stairs 864 864 862 860

**BUILDING NO.** 25 **BALBOA LANE**  
**BUILDING TYPE** 1  
**UNIT** B A C C C C A B  
**ADDRESS** 858 856 854 854 Stairs 852 852 850 848

**BUILDING NO.** 26 **BALBOA LANE**  
**BUILDING TYPE** 2  
**UNIT** B D E E D B  
**ADDRESS** 846 844 842 Stairs 840 838 836

**BUILDING NO.** 27 **BALBOA LANE**  
**BUILDING TYPE** 2  
**UNIT** B D E E D B  
**ADDRESS** 834 832 830 Stairs 828 826 824

**BUILDING NO.** 28 **BALBOA LANE**  
**BUILDING TYPE** 1  
**UNIT** B A C C C C A B  
**ADDRESS** 822 820 818 818 Stairs 816 816 814 812

**BUILDING NO.** 29 **BALBOA LANE**  
**BUILDING TYPE** 2  
**UNIT** B D E E D B  
**ADDRESS** 810 808 806 Stairs 804 802 800

UP-73-0080

**CITY OF FOSTER CITY  
 PLANNING DEPARTMENT**

**NOV 19 2014 KAC**

**ADMINISTRATIVE APPROVAL  
 WITH CONDITIONS**

Type 1 Building, End Stairs (Crooked Stairs) Lower Leg, Looking Up



Type 1 Building, End Stairs (Crooked Stairs) Upper Leg, Looking Up



Type 1 Building, End Stairs (Crooked Stairs) Looking down



Type 2 Building, End Stairs (Straight Stairs) Lower end rail wrap



Type 2 Building, End Stairs (Straight Stairs) Looking Up



Type 2 Building, End Stairs (Straight Stairs) Looking Down



Type 1 and 2 Building Center Stairs



**FILE COPY**

UP-73-0080  
CITY OF FOSTER CITY  
PLANNING DEPARTMENT

NOV 19 2014 KML

ADMINISTRATIVE APPROVAL  
WITH CONDITIONS

FOSTER CITY  
RECEIVED  
OCT 16 2014  
PLANNING/  
CODE ENFORCEMENT