



City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222

PROTOTYPE

CITY OF FOSTER CITY COMMUNITY DEVELOPMENT DIRECTOR'S ACTION NOTICE OF DECISION

APPLICATION RECEIVED: August 24, 2015

APPLICATION COMPLETE: August 31, 2015

ACTION DATE: September 11, 2015

CASE NO: UP-74-017XX

OWNER: Harborside Homeowners' Association

ADDRESS: Harborside HOA 1720 S. Amphlett Blvd #130, San Mateo, CA 94402

APPLICATION FOR: Second Story Deck Prototype

LOCATION: Harborside Planned Development

ZONING: R-T/PD (Townhouse Residence / Planned Development District)

CEQA DETERMINATION: Existing Facilities (Class 1, Section 15301)

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City took the action described above on the subject Architectural Review application based on the following findings:

1. The proposal to establish prototype designs for second story decks to include railing posts and other specific design guidelines for the decks in the Harborside Planned Development, as conditioned in Exhibit A, would be consistent with the Foster City General Plan, Chapter 17.16 (R-T Townhouse Residence District) of Title 17 (Zoning), and Chapter 2.28 (Planning) of Title 2 (Administration and Personnel) of the Foster City Municipal Code, because the prototypical design: 1) will maintain the existing appearance of residential units in the development, will allow for necessary maintenance, repair, or replacement of existing second story decking, and will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goals (LUC-A and LUC-B) and Land Use Policies (LUC-38 and LUC-39) contained in the Land Use and Circulation Element of the Foster City General Plan; and 2) will improve a typical residential use consistent with the Land Use Plan designation of Townhouse Residential.
2. That the design of the proposal would be consistent with and appropriate to the City, the neighborhood, and the lot on which they are proposed because the design, location, colors, and materials will be compatible with the architectural style, character and proportion of the

residential units in the development and they will be keeping with similar improvements in the Harborside Planned Development.

3. That the design of the proposal would be compatible with the site's environment with respect to use, forms, materials, colors, setbacks, location, height, design or similar qualities as specified in Section 17.58.010 of Chapter 17.58 (Architectural Control and Supervision) because the prototypical designs for second story decks will provide guidelines to ensure that deck replacements are orderly and consistent for all units in the development, and therefore, the overall architectural style and characteristics throughout the planned development will be preserved.
4. That the proposal would not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood, property values in the area, or the general welfare of the City because 1) the proposed railing posts for the second story deck will allow repair or replacement of existing decks in a manner that will meet Building Code Requirements, and 2) will ensure that all residential units maintain similar architectural characteristics will meet requirements of Section 17.58.010, Intent and Purpose of Chapter 17.58, Architectural Control and Supervision of the Foster City Municipal Code and will not have any detrimental visual impact on the neighborhood, the Harborside Planned Development, or property values in the neighborhood.

This action is subject to any conditions contained in Exhibit A, attached.

Expiration

Any Architectural Review or Use Permit Modification approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review or Use Permit Modification decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Use Permit Modification conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records. *Please be advised that a Building Permit will not be issued until the Planning/Code Enforcement Division has received the signed Notice of Decision.*


Sincerely,

for 
Curtis Banks
Community Development Director

Planners Initials CRU



(Owner's Name) (Please Print)



(Owner's Signature)

EXHIBIT A

HARBORSIDE HOMEOWNERS' ASSOCIATION Prototypical Design Guidelines for Second Story Deck Repair/Replacement UP-74-017XX

The following guidelines shall govern the repair/replacement of decks in the Harborside Planned Development:

CONDITIONS OF APPROVAL

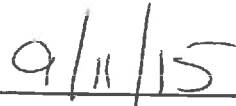
1. All construction shall be located, designed, constructed, installed, and maintained in a professional manner and appearance.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. All vents, gutters, downspouts, flashings, etc. shall be painted to match the color of the adjacent surfaces. No electrical conduits or similar piping shall be allowed on the exterior of the building unless approved prior to installation by the Community Development Director.
4. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
5. Prior to any final inspection approval, these conditions and all improvements shall be completed in accordance with the approved plans and to the satisfaction of the City.
6. Prior to installation, a Building Permit shall be obtained from the Building Division.
7. The balcony shall be painted to match the body color of the unit.
8. Railing posts must be fastened in such a way to withstand a minimum lateral force of 200 pounds.
9. The prototypical design is applicable to all units. The baluster spacing is dependent on the length of the balcony (Min. baluster spacing: 2.75"-Max. baluster spacing: 3.5").
10. There are two sets of dimensions defining two separate balconies. The first balcony is going to be 5'-0" x 10' - 2". The second balcony is going to be 5' - 0" x 11' - 2".
11. All second story deck construction for repair and/or replacement shall conform to current Foster City Building Codes.
12. Drawings and details of second story deck construction including site plan showing street numbers are attached as Exhibit B.

APPROVAL PROCESS

1. The homeowner or contractor shall apply for a Building Permit from the Building Inspection Division and shall submit any required structural engineering drawing and fees.
2. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved for installation of second story decks.



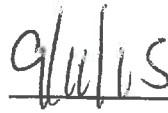
Veronica Sandoval,
Common Interest Management Services
Harborside Homeowners Association



Date

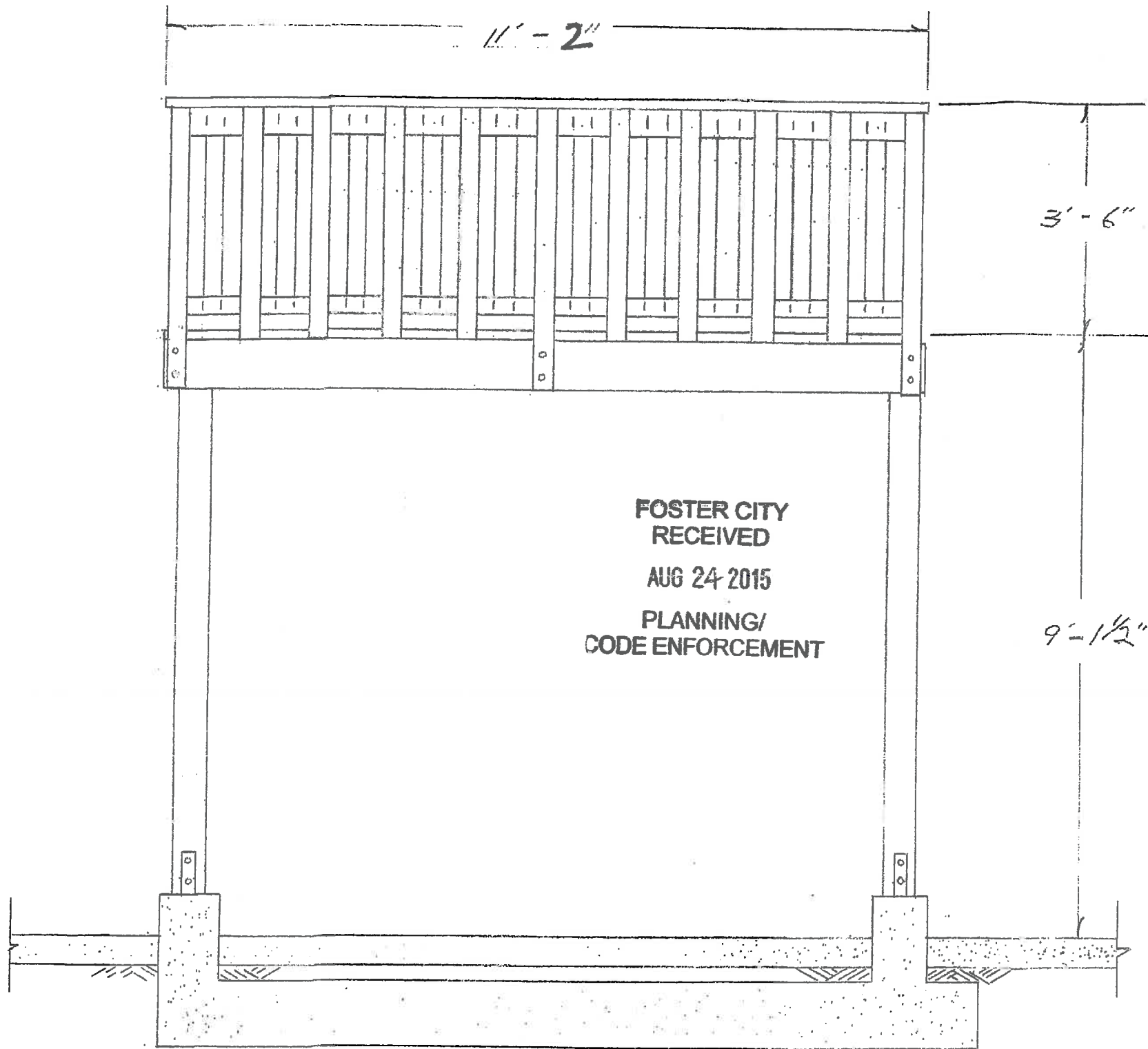


Curtis Banks, Community Development Director
City of Foster City

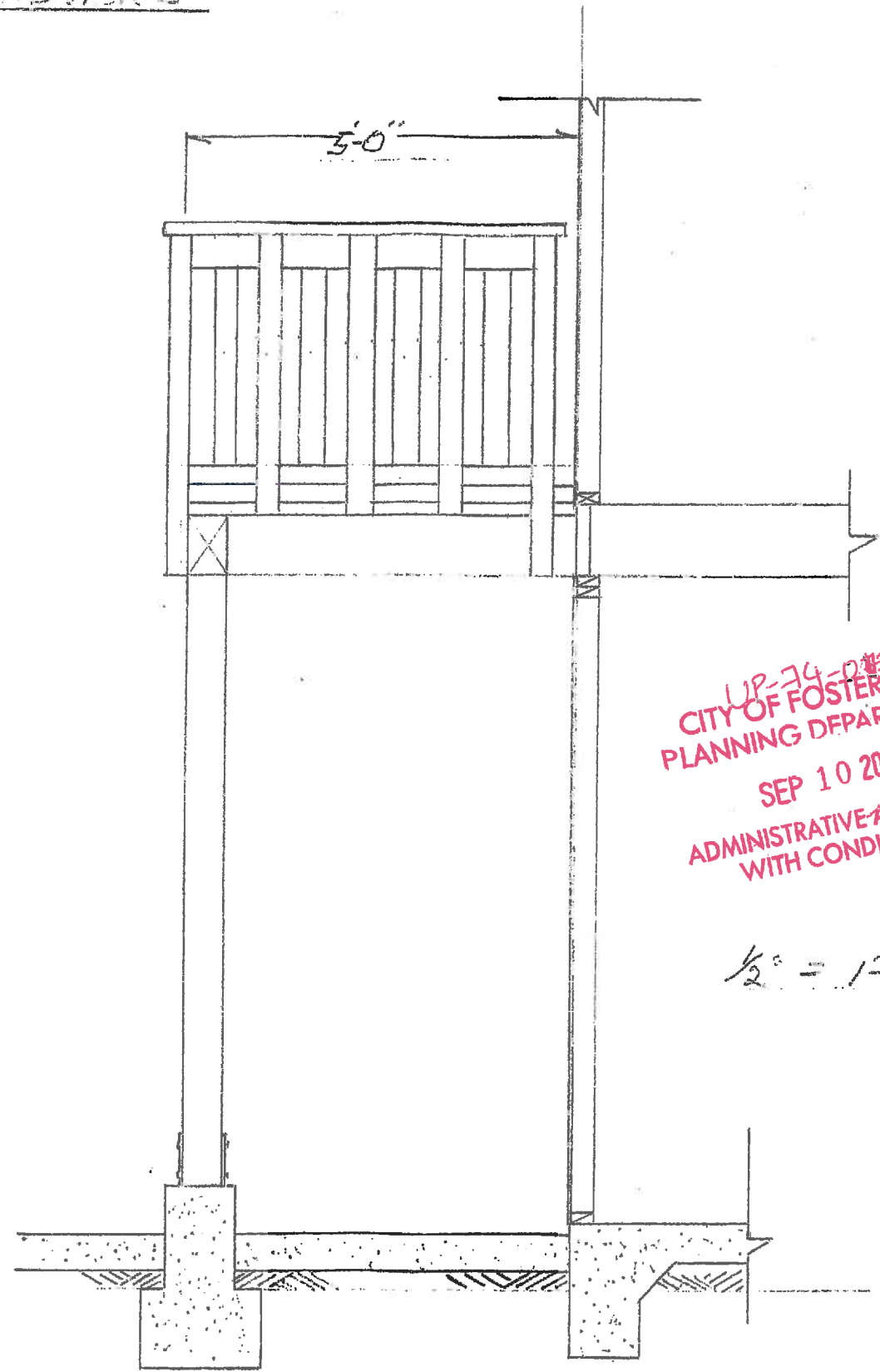


Date

Prototypical Second Floor Balconies



Front Elevation



Side Elevation

EXHIBIT B

HARBORSIDE HOMEOWNERS' ASSOCIATION
Prototypical Design Guidelines for Second Story Deck Repair/Replacement
UP-74-017XX

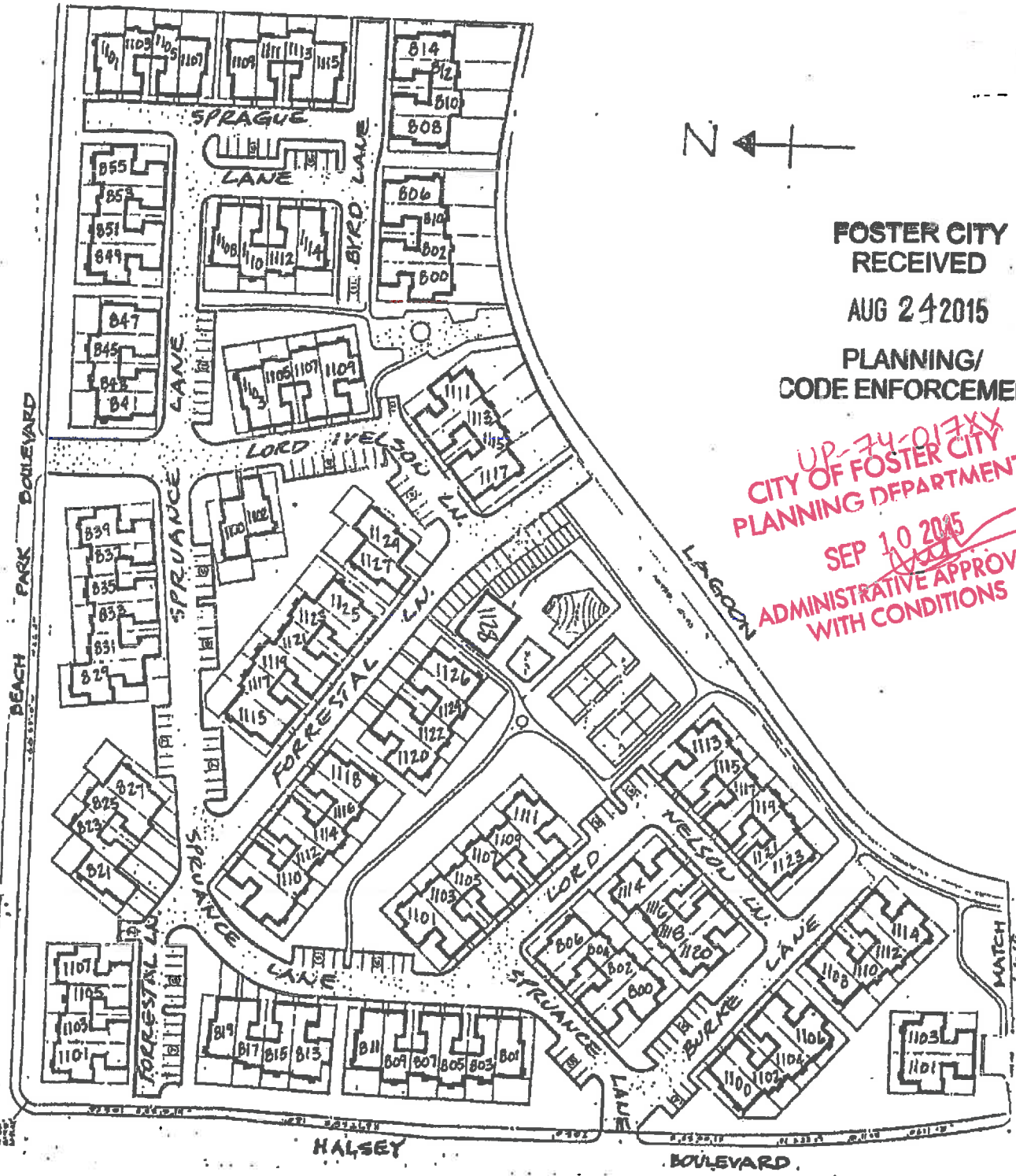
The following are the required materials for the replacement of balconies:

LUMBER

1. Ledger: 2" x 10" Douglas Fir #2 Pressure Treated
2. Joists: 2" x 10" Douglas Fir #2 Pressure Treated
3. Rim Beam: 6" x 10" Douglas Fir #2 Pressure Treated
4. Posts: 6" x 6" Douglas Fir #2 Pressure Treated
5. Decking: 2" x 6" Construction Hart Redwood
6. Railing Posts; 4" x 4" Construction Hart Redwood
7. Top Rail: 2" x 6" Construction Hart Redwood
8. Bottom Rail: 2" x 4" Construction Hart Redwood
9. Rail Cap: 2" x 6" Construction Hart Redwood
10. Balusters: 1" x 4" Advantage Plus Pine

UP-74-017XX
CITY OF FOSTER CITY
PLANNING DEPARTMENT
SEP 10 2015
ADMINISTRATIVE APPROVAL
WITH CONDITIONS

EXHIBIT B



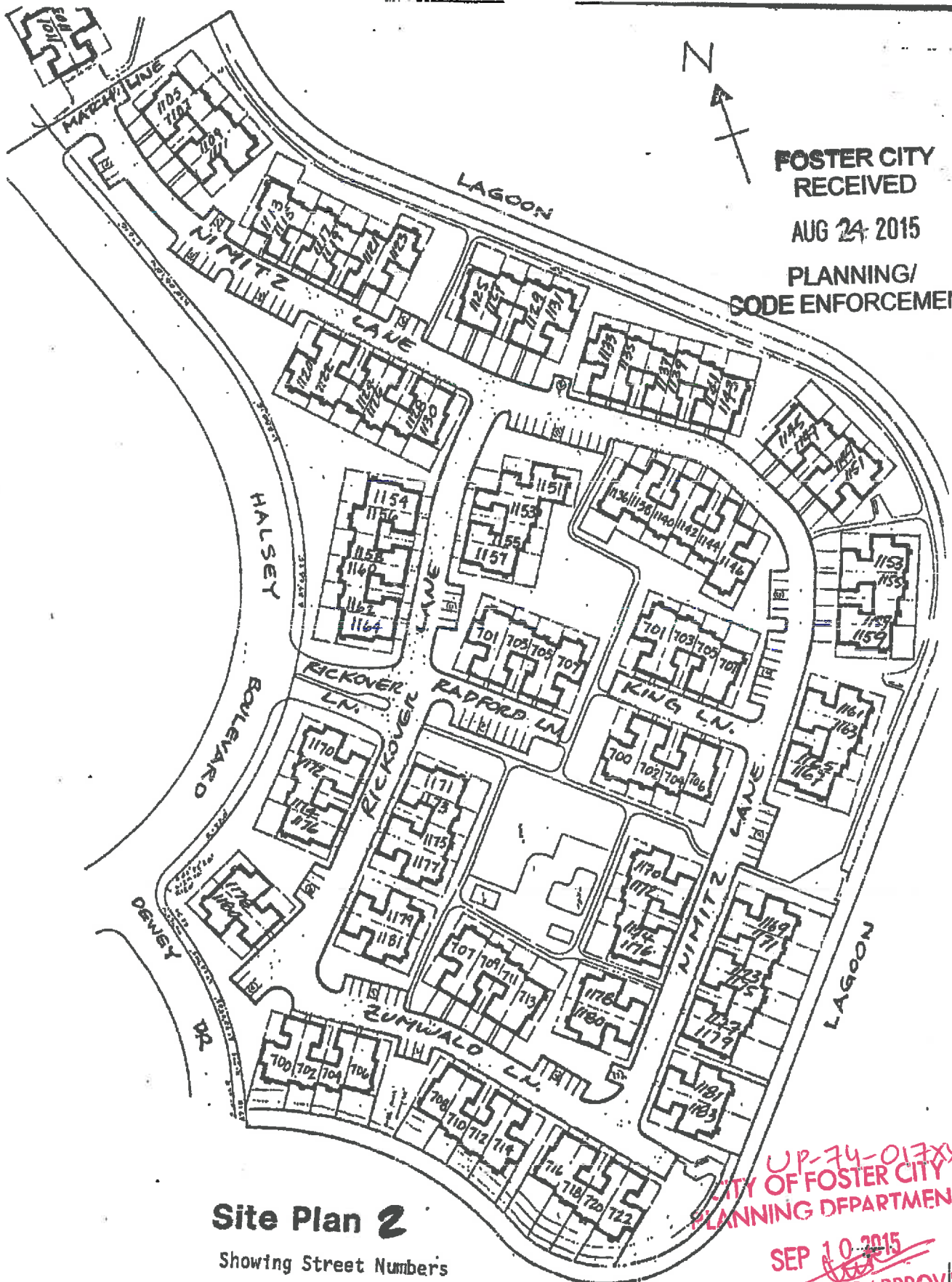
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Site Plan I
Showing Street Numbers

HARBORSIDE

EXHIBIT B



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PLANNING/
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Site Plan 2

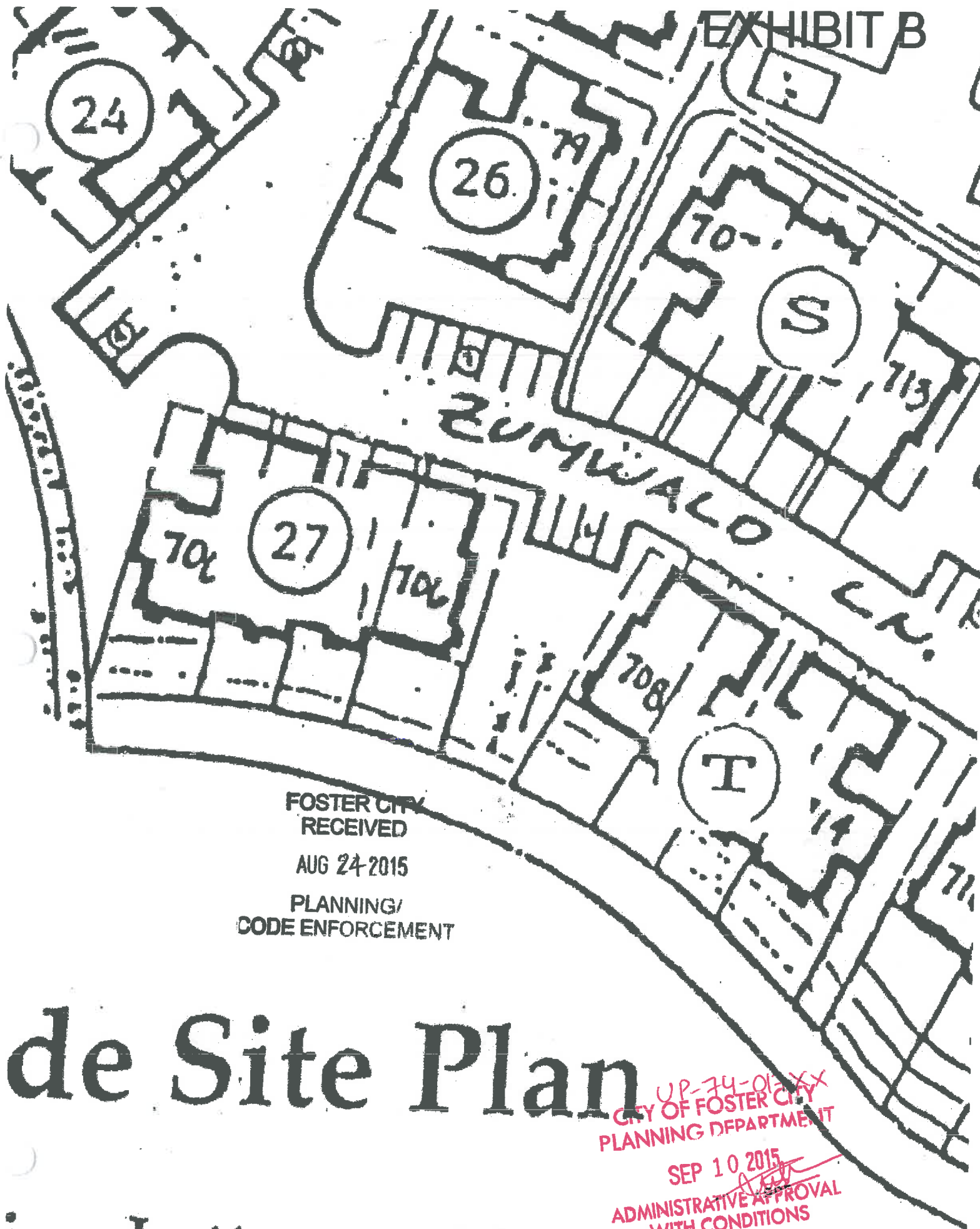
Showing Street Numbers

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de Site Plan


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ing Letters or Numbers

EXHIBIT B

 Google 704 Zumwalt Ln



Map data ©2015 Google 20 ft

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