

City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222

PROTOTYPE

CITY OF FOSTER CITY COMMUNITY DEVELOPMENT DIRECTOR'S ACTION NOTICE OF DECISION

APPLICATION RECEIVED: May 13, 2020

APPLICATION COMPLETE: November 9, 2020

ACTION DATE: November 9, 2020

CASE NO: UP2020-0016

OWNER: Harborside HOA, c/o Veronica Sandoval

ADDRESS: 1720 S. Amphlett Blvd, Suite 130, San Mateo, CA 94402

APPLICATION FOR: Prototype Amendment to increase the patio door size from 10'-0"x6'-8" to 10'-6"x6"-10" and patio door style from gliding to panoramic

LOCATION: Harborside HOA Planned Development

ZONING: R-1/PD (Single Family Residence/Planned Development) district

CEQA DETERMINATION: Categorically Exempt – Section 15301, Existing Facilities

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City took the action described above on the subject Use Permit Modification application based on the following findings:

1. The proposal to amend the prototypical design guidelines for replacement of patio doors for Windjammer houses in the Harborside Planned Development, as conditioned in Exhibit A and illustrated in Exhibit B, is consistent with the Foster City General Plan, Chapter 17.12 (R-1 Single-Family Residence District) of Title 17 (Zoning), and Chapter 2.28 (Planning) of Title 2 (Administration and Personnel) of the Foster City Municipal Code because the proposed prototypical design for the replacement of patio doors: will be sympathetic to the character and style of the existing houses in the Harborside Planned Development and will be designed to be harmonious with the existing neighborhood and therefore, will promote "proper site planning, architectural design and property maintenance" and will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goals (LUC-A and LUC-B) and Land Use Policies (LUC-A-1 and LUC-B-1) contained in the Land Use and Circulation Element of the Foster City General Plan; will improve the appearance of residential units in the development by establishing a new style for the replacement of patio doors in the Harborside development consistent with Planning Commission Policy P-1-94; and will be integrated into the existing building and designed such that the architectural character of the house is maintained

and consistent with Section 2.28.010 of the Foster City Municipal Code.

2. That the proposed prototype for patio doors would be consistent with and appropriate to the City, the neighborhood, and the lot on which it is proposed and be compatible with the site's environment with respect to use, forms, materials, colors, setbacks, location, height, design or similar qualities as specified in Section 17.58.010 of Chapter 17.58 (Architectural Control and Supervision) of the Foster City Municipal Code because: the prototypical design for the patio door will provide guidelines to ensure that patio door replacements are orderly and consistent for all Windjammer units in the development, and therefore, the overall architectural style and characteristics throughout the development will be preserved consistent with Section 17.58.010.B.1; the style and new size of the replacement patio door will be compatible with the architectural style, character, and proportions of houses in the Harbor development and therefore, will enhance their site and will be harmonious with the highest standards of improvement in the surrounding area consistent with Sections 17.58.010.B.2 and 17.58.010.B.4; and the replacement patio doors will be in the same location as the existing door and therefore, will be in keeping with similar improvements in the neighborhood.

3. That the proposal would not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood, property values in the area, or the general welfare of the City because the prototypical design guidelines for patio door replacement will allow for the replacement of existing patio doors with high quality patio doors of durable materials and therefore, will not have any significant visual or property value impacts to the Harborside Planned Development, the streetscape or the adjacent neighborhood.

This action is subject to any conditions contained in Exhibits A and B, attached.

Expiration

Any Use Permit Modification approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Use Permit Modification decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Use Permit Modification

conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records. *Please be advised that a Building Permit **will not** be issued until the Planning/Code Enforcement Division has received the signed Notice of Decision.*

Sincerely,

p.p. *Monica B. Ay*

Marlene Subhashini
Community Development Director

Ben Asaro
(Owner's Name) (Please Print)

Planners Initials ML

Ben Asaro
(Owner's Signature)

EXHIBIT A

HARBORSIDE HOMEOWNERS' ASSOCIATION

Prototypical Design Guidelines for Patio Door Replacements (Windjammer Units Only)
UP2020-0016

The following guidelines shall govern the size, design, and color of sliding doors for patios for the Windjammer Units in the Harborside Planned Development:

CONDITIONS OF APPROVAL

- 1. Prior to construction, all necessary building permits shall be obtained from the Foster City Building Division. A building permit front door replacement is only required if the size and/or the location of the front door will be modified.**
2. All construction shall be located, designed, constructed, installed, and maintained in a professional manner and appearance.
3. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval. The construction or placement of unapproved features or unapproved changes to buildings or structures which were a part of approved plans can and will result in the issuance of a "Stop Work Order" by the City, the need to revise plans and obtain City approval for all changes prior to recommending work, and the possibility of penalty fees being assessed for unauthorized work.
3. All vents, gutters, downspouts, flashings, etc. shall be painted to match the color of the adjacent surfaces. No electrical conduits or similar piping shall be allowed on the exterior of the building unless approved prior to installation by the Community Development Director.
4. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
5. Prior to any final building inspection approval, these conditions and all improvements shall be completed in accordance with the approved plans and to the satisfaction of the City.
6. Once a building permit is issued, it is the permit holder's responsibility to ensure that the project receives a final inspection before the building permit expires (180 days after the last inspection). Failure to receive and/or pass a final inspection will result in the expiration of the building permit which will require additional fees to reactivate.
- 7. The patio door may only be installed on the patios of the Windjammer units and shall be consistent with the attached Exhibit "B."**
- 8. Replacement patio doors frame materials shall match the existing window/patio door frame materials except a mix of materials are permitted with HOA Approval.**
- 9. The replacement of the patio door design shall conform to either of these three design options:**

A. Panoramic Style Patio Door (Where all three doors slide) shall be:

- 10 feet 6 inches in width;
- 6 feet 10 inches in height;
- White Aluminum frame or White Vinyl

B. Gliding Style Patio Door

- 10 feet in width;
- 6 feet 8 inches in height;
- White Aluminum frame or White Vinyl

C. Match Existing Patio Door (No size increase)

- 6 feet in width;
- 6 feet 8 inches in height;
- White Aluminum frame or White Vinyl

10. All custom designed patio doors shall be individually reviewed by the Harborside Homeowners' Association on a case-by-case basis.
11. Any damage to the wall surface and/or door trim shall be repaired and painted in kind, to achieve a seamless transition from the repaired to the existing trim and/or wall surface.
12. All windows and/or patio doors on the same elevation shall match in color, style and materials and window/door trim except a mix of vinyl and aluminum are permitted with HOA approval.
13. No grids allowed.

Bold Text: Indicates Site Specific Conditions

APPROVAL PROCESS

For Patio Door Replacements the homeowner or contractor shall apply for a building permit at the Building Division and shall submit the following

- a. Written approval from Harborside HOA
 - b. A manufacturers brochure or catalog cut sheet that shows the design of the front door including the panel design, number of sections, colors and material
 - c. A photograph of the existing front door
 - d. An elevation detail showing the new size and/or location
 - e. Building Permit application and fees (if applicable)
2. The Planning/Code Enforcement Division staff will review the application to confirm that the proposal is consistent with the prototypical design approved for the replacement of patio doors (Windjammer Units Only) for the Harborside Development.

Ben Asaro
Ben Asaro, HOA President
Harborside Homeowners Association

11/18/2020
Date

p.p. Marlene B Subhashini
Marlene Subhashini, Community Development Director
City of Foster City

11/9/2020
Date

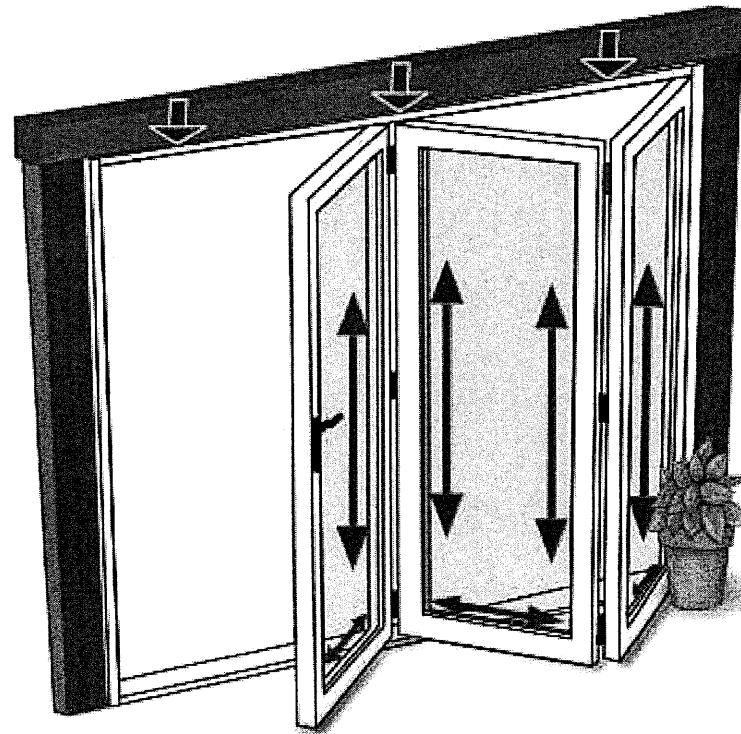
EXHIBIT B

Foster City, CA 94404
(within Harborside HOA)

HARBORSIDE HOMEOWNERS' ASSOCIATION Approved Patio Door Designs

Panoramic Style Patio Door

The proposed door will be 3 panels
View of the interior of the home, with the door opening to the outside

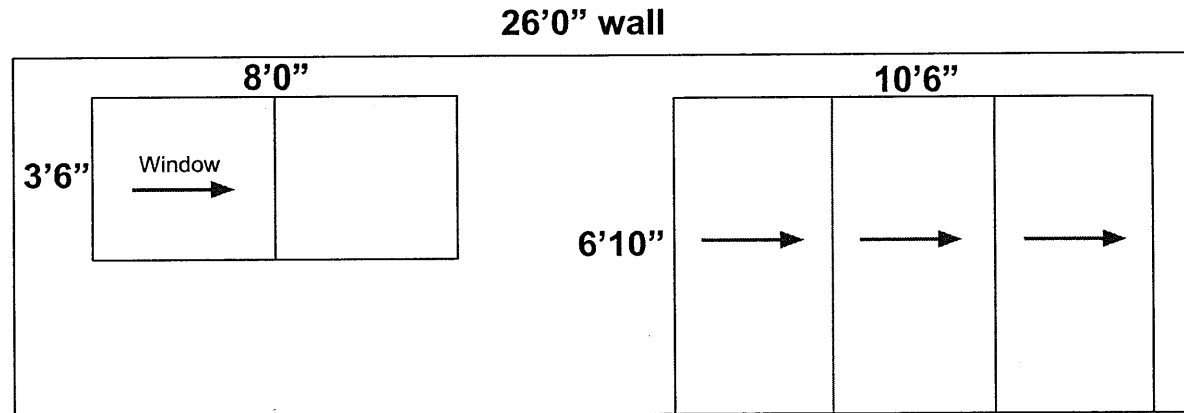


Scale 1/4 inch = 1 foot

Foster City, CA 94404
(within Harborside HOA)

PROPOSED NEW DOOR

Change 6 foot wide sliding door to 10 foot, 6 inch wide door in living room
(view is of the exterior of the home)



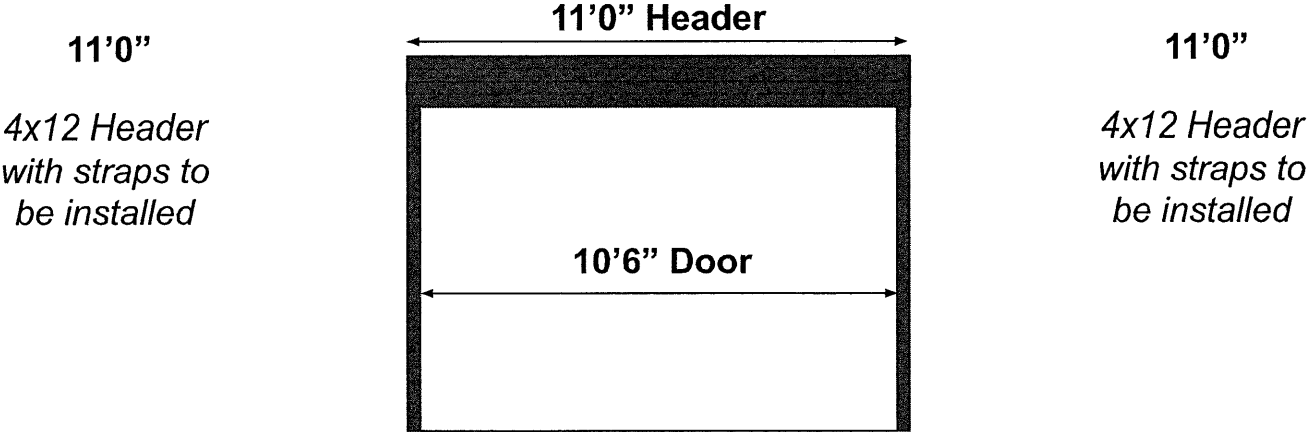
*Ext wood siding patio door trim, painted white
with 1 x 6 resawn top 1x4 sides as existing*

Scale 1/4 inch = 1 foot

Foster City, CA 94404
(within Harborside HOA)

PROPOSED NEW FRAMING DETAIL

Change 6 foot wide sliding door to 10 foot, 6 inch wide door in living room
(view is of the exterior of the home)



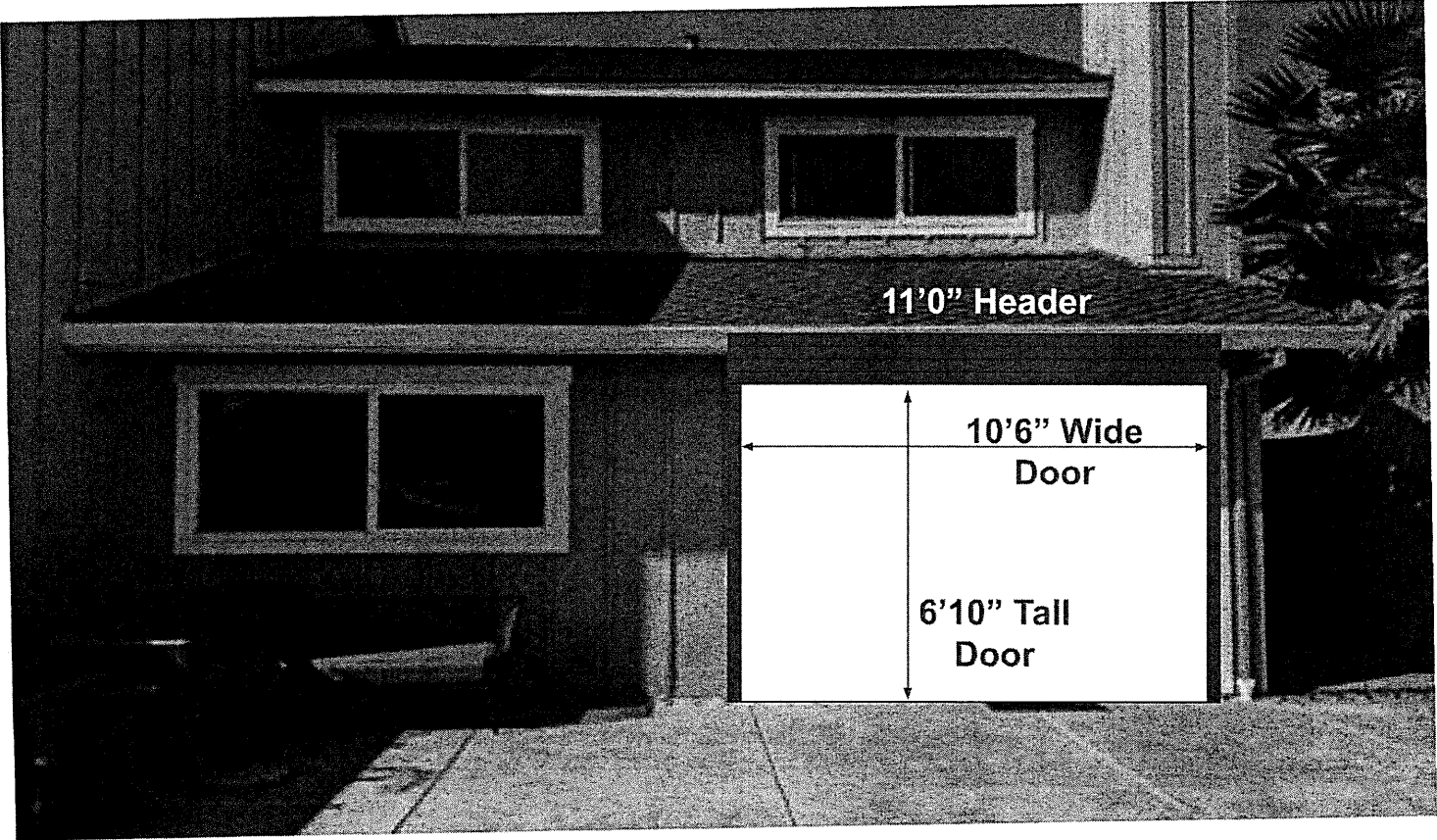
All the weight of the panoramic door panels rests on the bottom track there is no additional load placed on the header (brochure has more detail)

Scale 1/4 inch = 1 foot

Foster City, CA 94404
(within Harborside HOA)

PROPOSED: PHOTOGRAPH

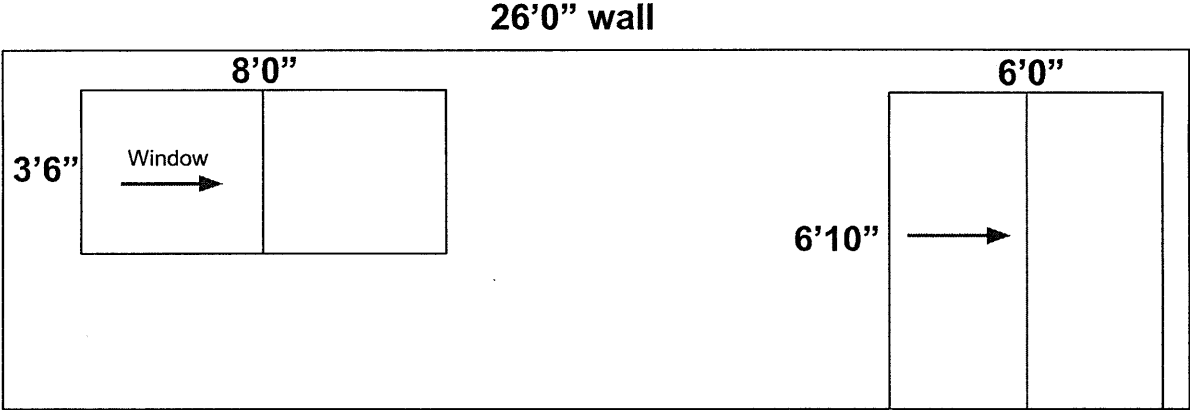
Change 6 foot wide sliding door to 10 foot, 6 inch wide door in living room
(view is of the exterior of the home)



Scale 1/4 inch = 1 foot

Foster City, CA 94404
(within Harborside HOA)

EXISTING 6' PATIO DOOR
(view is of the exterior of the home)



*Ext wood siding patio door trim, painted white
with 1 x 6 resawn top 1x4 resawn sides
Height of the wall indoors is 7 foot 8 inches (taller outside)*

Scale 1/4 inch = 1 foot

Foster City, CA 94404
(within Harborside HOA)

EXISTING 6' PATIO DOOR: PHOTOGRAPH

