

City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222
(650) 286-3200
FAX (650) 574-3483

prototype
binder

March 3, 2005

Barry Rutherford
Alden Crossing Homeowners Association
The Manor Association
353 Main Street
Redwood City, CA 94063

Subject: Prototype Approvals for Decks in Alden Crossing Planned Development (File UP-84-008)

Dear Mr. Rutherford:

As part of the original Use Permit for Alden Crossing, a prototype design was approved for decks. On January 21, 1999, the Planning Commission revised their policy on prototype designs for property improvements in planned developments to state that the following types of improvements would not require prototypical designs or Architectural Review permits:

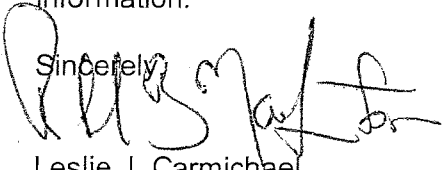
- Front doors (same size)
- Decks (non-waterfront, lower than 18", at least 5' from the property line, and in R-1/PD district)
- Air conditioning condenser units (ground-mounted units on non-waterfront properties in R-1/PD district)

We have conducted a review of existing prototype approvals and note that your planned development has a prototype design approved for decks that allows raised decks within 18" of the property line.

By copy of this letter, we are informing you that the City will no longer require City review of decks that are lower than 18" and at least 5' from the property line. Decks that are taller than 18" or less than 5' from the property line will continue to require Architectural Review permits. The homeowners association may continue to regulate the decks exempt from City review pursuant to their CC&Rs.

Please contact me at lcarmichael@fostercity.org or 650 286-3236 if you need any additional information.

Sincerely,


Leslie J. Carmichael
Planning Manager

Attachment

Planning Commission Policy No. P-1-94 (Revised January 21, 1999)
Prototype approval for decks in Alden Crossing

- 1.0.0 STRUCTURES AT GRADE, such as decks, patios, terraces, and all masonry/concrete flatwork.
- 1.1.0 MATERIALS
- 1.1.1 Redwood or cedar. Paint or stain to match house and trim, or yearly applications of clear sealer.
- 1.1.2 Natural stone. Grey or beige in color, mortared in place on a concrete base.
- 1.1.3 Brick masonry. Light reds and browns, in a sand bed or mortared in place on a concrete base.
- 1.1.4 Concrete. Natural color or beige integral color, pebble seeded. The use of rustic terrazzo is encouraged.
- 1.2.0 LOCATIONS
- 1.2.1 Allowable in rear yards within eighteen (18) inches of the rear property line, except that no open porch may project closer than four (4) feet to any side lot line and may not exceed six (6) feet into any rear yard.
- 1.2.2 Patios in the side and rear yards up to eighteen (18) inches from the side and rear property lines.
- 1.2.3 See drawing 11, "TRELIS AND TERRACE," for correlative information.
- 1.3.0 PRECAUTIONS
- 1.3.1 Conform to the Foster City Building Codes where applicable. Approval of the Architectural Committee of Alden Crossing is required.
- 1.3.2 A 1½ inch level change from house floor down to structure is to be maintained.
- 1.3.3 Special precautions to prevent dry rot and termite infestation are required if wood construction is used.

END

EMERY ROGERS and ASSOCIATES
Landscape Architects

249 Front Street
San Francisco, CA 94111
(415) 398-8818

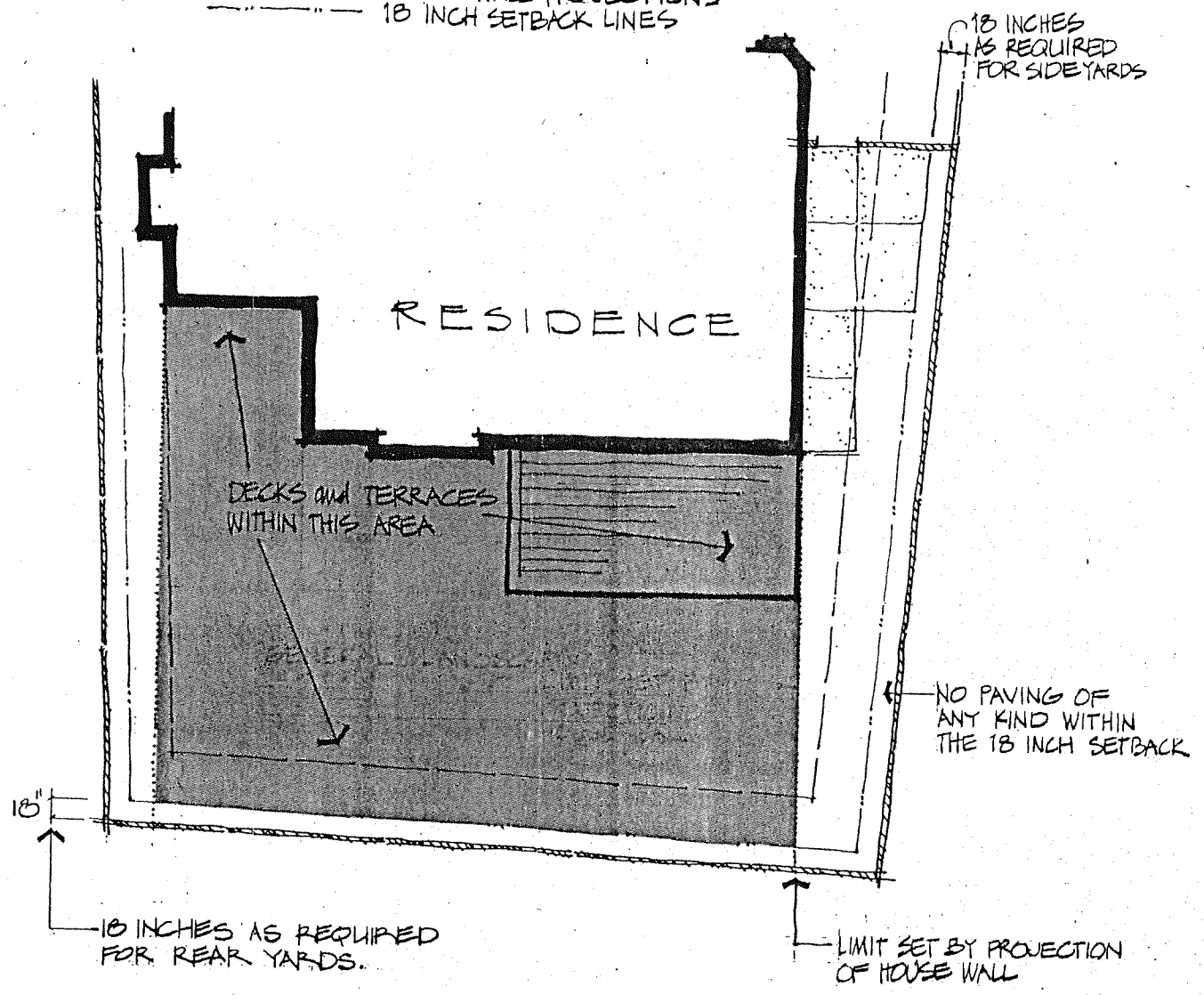
STRUCTURES AT GRADE, such as
decks, patios, terraces, and
all masonry/concrete flatwork

- ===== FENCE/APPROX. PROP. LINES
- 5 FOOT SETBACK LINES
- HOUSE WALL PROJECTIONS
- 18 INCH SETBACK LINES

EMERY ROGERS and ASSOCIATES
Landscape Architects

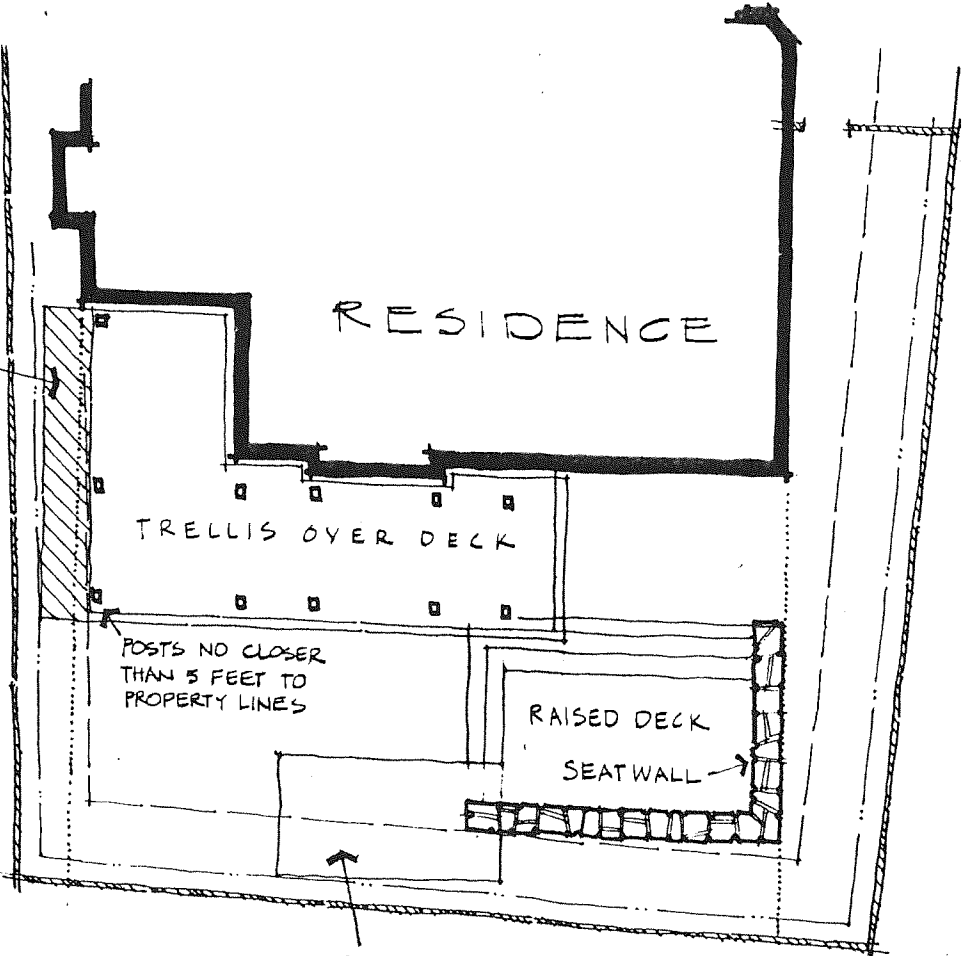
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STRUCTURES AT GRADE, such as
decks, patios, terraces, and
all masonry/concrete flatwork.



- - - - - FENCE/APPROX. PROP. LINES
 - - - - - 5 FOOT SETBACK LINES
 - - - - - HOUSE WALL PROJECTIONS
 - - - - - 18 INCH SETBACK

7 FEET - 6 INCH HIGH TRELLIS IN THIS AREA

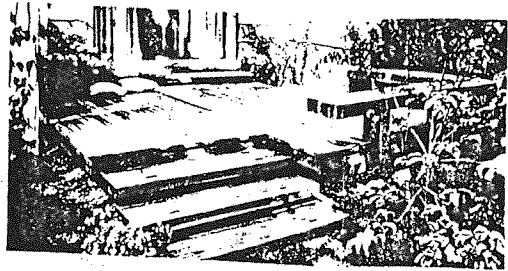
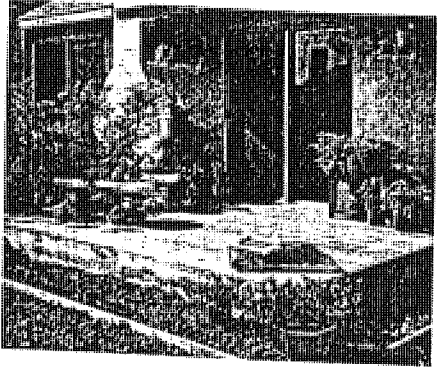


RAISED DECKS MAY COME WITHIN 18 INCHES OF PROPERTY LINES

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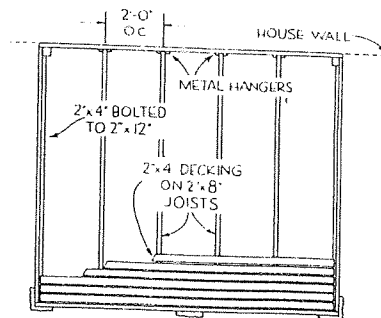
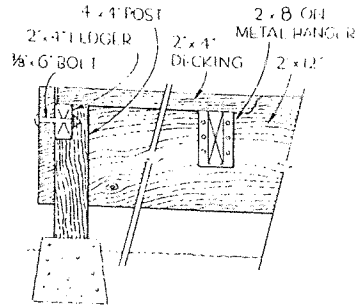
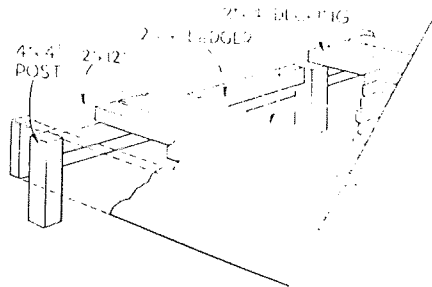
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GARDEN STRUCTURES, such as raised decks, above-ground spas and pools, trellises and covers, wind and privacy screens, gazebos, and utility/potting sheds.

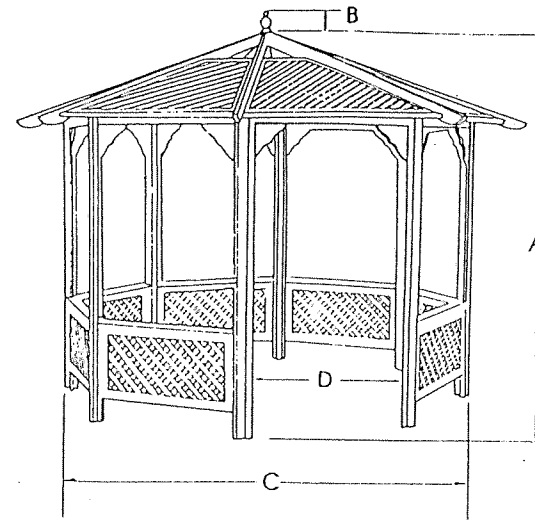


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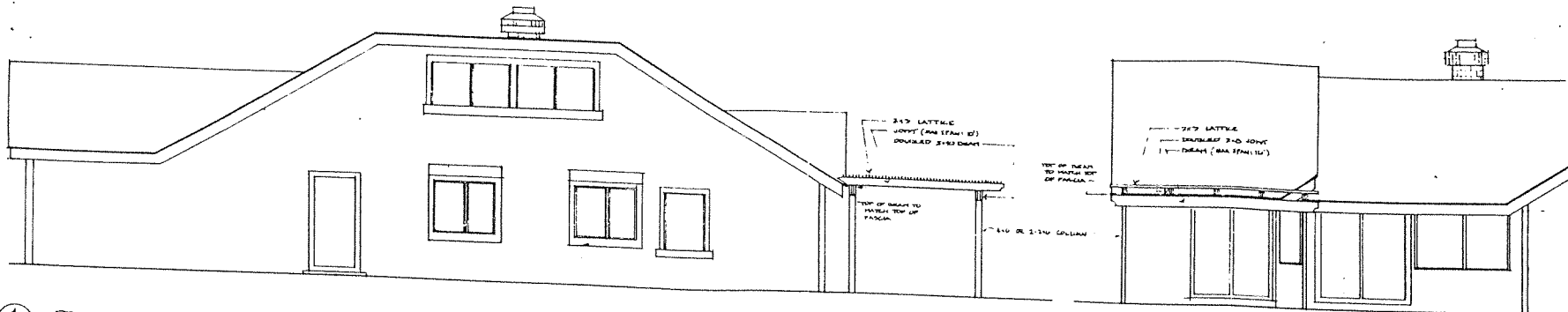


PROTOTYPICAL DECKING



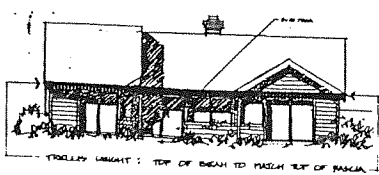
- A = 9
- B = 6
- C = 8
- D = 4
- 8 FT.
- A = 9
- B = 6
- C = 8
- D = 4
- 11 FT.
- A = 9
- B = 6
- C = 8
- D = 4
- 13 FT.
- A = 9
- B = 6
- C = 8
- D = 4

PROTOTYPICAL GAZEBO



1
7
PROTOTYPE TRELLIS, HOUSE MODEL #1, SIDE ELEVATION, NO SCALE

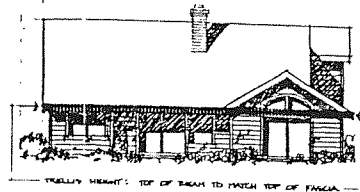
REAR ELEVATION, NO SCALE



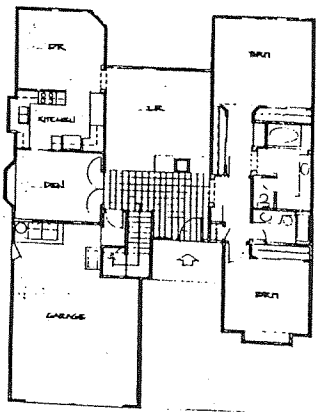
REAR ELEVATION, MODEL #1



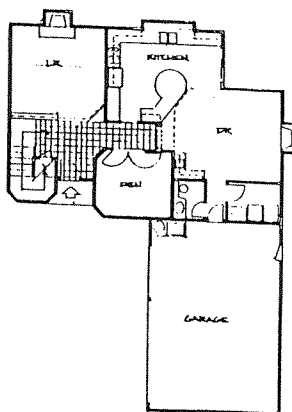
REAR ELEVATION, MODEL #2



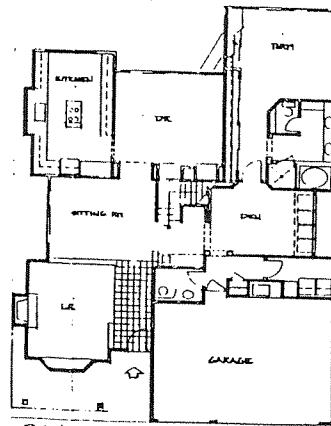
REAR ELEVATION, MODEL #3



PLAN, MODEL #1

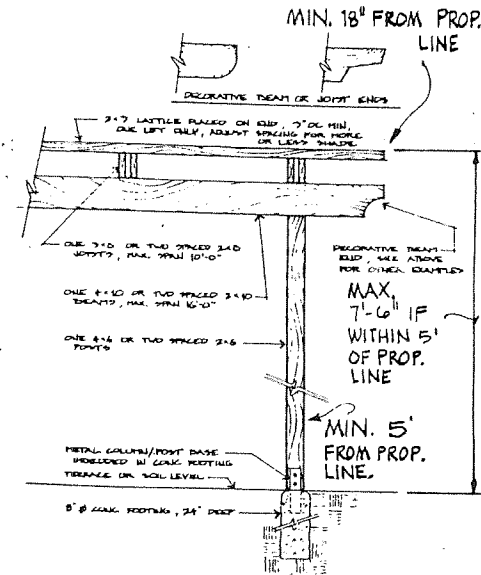


PLAN, MODEL #2



PLAN, MODEL #3

2
7
TERRACE AND TRELLIS PLACEMENT, ALL HOUSE MODELS, NO SCALE



2
7
TRELLIS CONSTRUCTION DETAIL, 3/4" = 1'-0"

- NOTES:
1. TRELLIS IS NOT TO BE ATTACHED TO HOUSE IN ANY WAY.
 2. SUPPORTING COLUMNS MAY NOT BE CLOSER THAN 5 FEET FROM SIDE PROPERTY LINE.
 3. CANOPY LINE MAY NOT BE CLOSER THAN 18 INCHES TO REAR PROPERTY LINE.
 4. CANOPY LINE MAY NOT BE CLOSER THAN 18 INCHES TO SIDE PROPERTY LINE.
 5. CANOPY LINE WHERE CLOSER THAN 5 FEET TO SIDE PROPERTY LINE MAY NOT EXCEED 7 FEET 6 INCHES IN HEIGHT.
 6. TRELLIS CONSTRUCTION TO BE OF REDWOOD OR CEDAR, SURFACED ON ALL SIDES. CONSTRUCTION HEART OR BETTER.
 7. PAINT OR STAIN TO MATCH HOUSE AND TRIM, OR CLEAR SEALER.

EMERY ROGERS and ASSOC.
Landscape Architects
San Francisco

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ALDEN
CROSSING
ROSTER CITY PARCELS C
BY THE ALDEN COMPANY
411 BOWEN AVENUE
SUITE 410
SAN MATEO, CA 94402

TRELLIS AND
TERRACE
(HOMEOWNER GUIDELINES)