

The Admiralty

C/O Common Interest Management Services
1720 S. Amphlett Blvd., Ste. 130, San Mateo, CA 94402

January 14, 2011

FOSTER CITY
RECEIVED

JAN 19 2011

PLANNING
DIVISION

Mr. Richard B. Mark
Community Development Director
610 Foster City Boulevard
Foster City, CA 94404-2222

Re: The Admiralty, Foster City

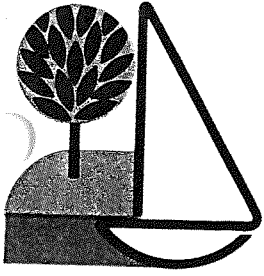
Dear Mr. Mark,

I am in receipt of your letter dated December 14, 2010 that was addressed to Jodi Abbott-Robinson. I recently became the manager so I'm responding to your letter. I have met with the Admiralty Board of Directors and they would like to continue the requirement for Architectural Review for replacement windows. If there is anything else that I need to do, please let me know.

Sincerely,



Amber Resnick
Community Manager
Common Interest Management Services



City of Foster City

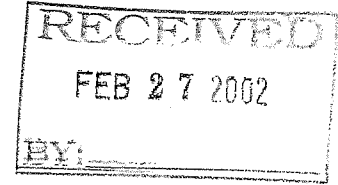
ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222
(650) 286-3200
FAX (650) 574-3483

**FOSTER CITY
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**PLANNING
DIVISION**



CITY OF FOSTER CITY
COMMUNITY DEVELOPMENT DIRECTOR'S ACTION
NOTICE OF DECISION

APPLICATION RECEIVED: February 19, 2002

APPLICATION COMPLETE: February 21, 2002

ACTION DATE: February 26, 2002

CASE NO.: AR-02-021

OWNER: Admiralty

OWNER ADDRESS: 655 Mariners Island Blvd. #301, San Mateo, CA 94404

APPLICATION FOR: Replacement Windows

LOCATION: Admiralty

ZONING: R-3 (Medium Density Multiple Family) District

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City, took the action described above on the subject Architectural Review application based on the following findings:

1. That the proposal to establish a prototype design for the replacement of windows at the Admiralty Development, as conditioned in Exhibit A and illustrated in Exhibit B, is consistent with the Foster City General Plan and Title 17, Zoning, and Chapter 2.28, Planning, of the Foster City Municipal Code because the proposed prototypical design will maintain the existing appearance of residential units in the development, will allow for necessary maintenance and repair of houses, will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goal (LUC-A) and Land Use Policies (LUC-38 and LUC-39) contained in the Land Use and Circulation Element of the Foster City General Plan, will provide additional/modified light and ventilation for the house, and will be consistent with the residential use of the residences in the development.
2. That the design of the proposal is appropriate to the City, the neighborhood and the lot in which it is proposed because the design, colors, and materials of the prototypical window replacement will be compatible with the architectural style, character, and proportions of residential units in the development and they will be in keeping with similar improvements in the neighborhood.

3. That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code because 1) the prototypical design will provide guidelines to ensure that window replacements are orderly and consistent for all residential units in the development, and therefore, the overall architectural style and characteristics throughout the planned development will be preserved; 2) the size of the replacement windows will be the same size as the existing windows; and 3) the frame color of the replacement window will match the frame color of the existing windows.

4. That the proposal will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City because the prototypical design will ensure that all residential units maintain similar architectural characteristics, will meet the requirements of Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code, and will not have detrimental visual impacts on the neighborhood, the planned development, or the property values in the area.

This action is subject to any conditions contained in Exhibit A, attached.

Expiration

Any Architectural Review or Use Permit Modification approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review or Use Permit Modification decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Architectural Review or Use Permit Modification conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records.


Sincerely,


Richard B. Marks
Community Development Director

Planners Initials ECF

Admiralty HOA *10 Park Management Corp.*

(Applicant's Name) (Please Print)



(Applicant's Signature)
Ann P. McCann, CCAM
Association Manager

EXHIBIT A

ADMIRALTY HOMEOWNERS' ASSOCIATION Prototypical Design Guidelines for Replacement Windows

The following guidelines shall govern the installation and windows in the Admiralty Development:

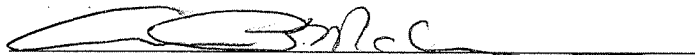
CONDITIONS OF APPROVAL

1. All construction shall be designed, constructed, installed, and maintained in a professional manner.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. Standard residential security requirements as established by Section 15.28.100, Business and Residential Security – Minimum standards, of Chapter 15.28 of the Foster City Municipal Code shall be provided.
4. Prior to installation, a building permit shall be obtained from the Building Inspection Division. Four (4) sets of final drawings shall be submitted with the building permit application.
5. Prior to any final building inspection approval, any imposed conditions and all improvements shall be completed to the satisfaction of the City.
6. The frame color and glazing of the replacement window shall match the glazing and frame color of the existing windows.
7. Replacement window inserts shall have a bronze/black aluminum frame similar or equivalent to Milgard 1110/1120 Series Windows as illustrated in Exhibit B.
8. The use of grids on replacement windows shall not be allowed.
9. There shall not be any change in configuration of framing of all windows and sliding doors, except as approved by the Admiralty Board of Directors and the Foster City Community Development Department.

APPROVAL PROCESS

1. Planning/Code Enforcement division staff will review the Architectural Review application and plans/photographs to confirm that the proposal conforms with the Prototypical Design Guidelines.

2. The homeowner or contractor shall apply for a Building Permit from the Building Inspection Division and shall submit any required drawings and fees and the following information:
 - A letter from the Admiralty Homeowners' Association, indicating their action on the proposal.
 - An Architectural Review application and filing fee (one-half the typical fee for windows).
 - Three copies of photographs or elevations indicating the location and size of the window(s).
 - Manufacturers brochure or catalogue cut sheet indicating the proposed replacement windows and the frame color and width and glazing of the proposed replacement window(s) if different from the approved Milgard 1110/1120 Series Window.


Ann McCann, Managing Agent
PML Management Corporation for
Admiralty Homeowners' Association

2/27/02
Date


Richard B. Marks, Community Development Director
City of Foster City

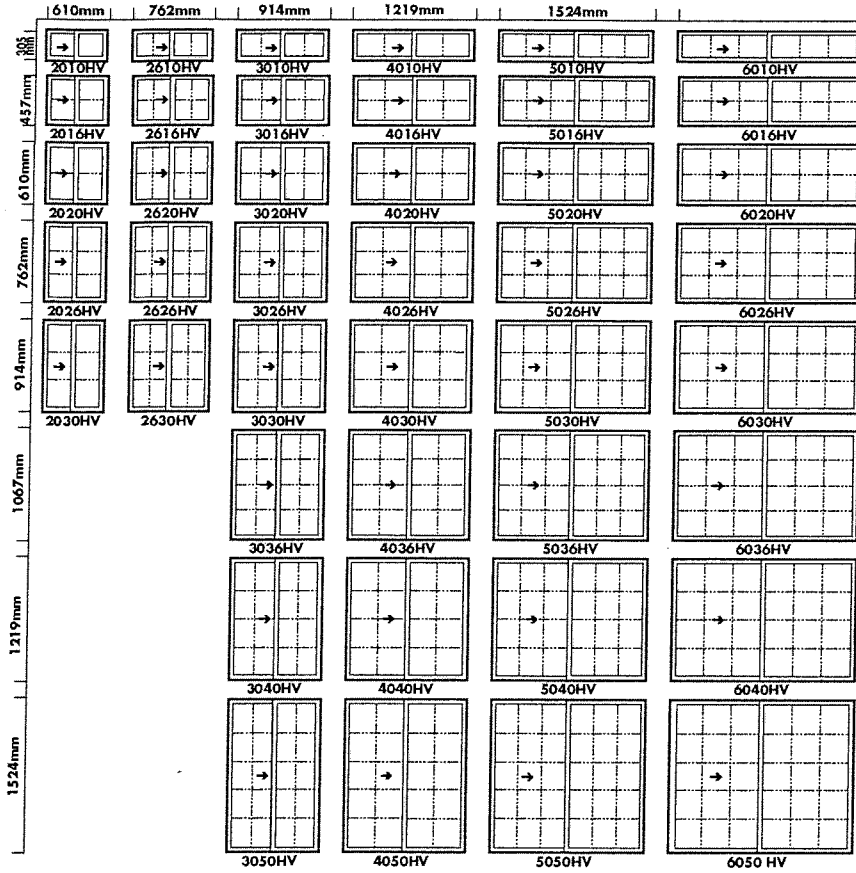
12/10/03
Date

EXHIBIT B

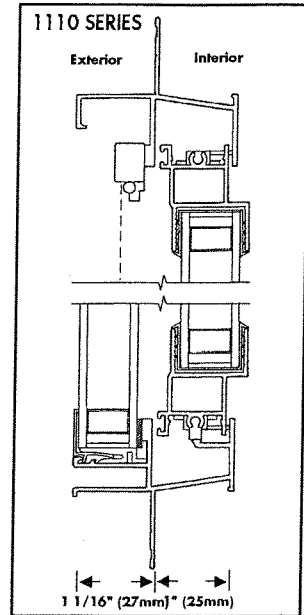
1110/1120 HORIZONTAL SLIDER

Half Vent 2010 to 6050

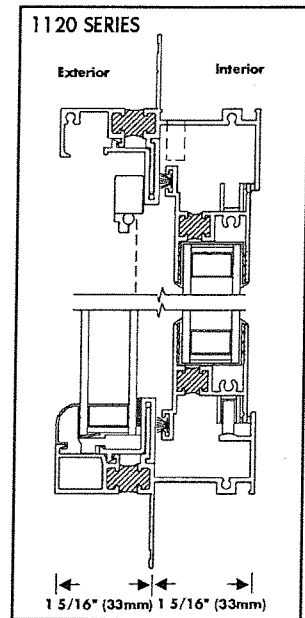
Milgard Windows **ALUMINUM**



Special sizes and configurations available

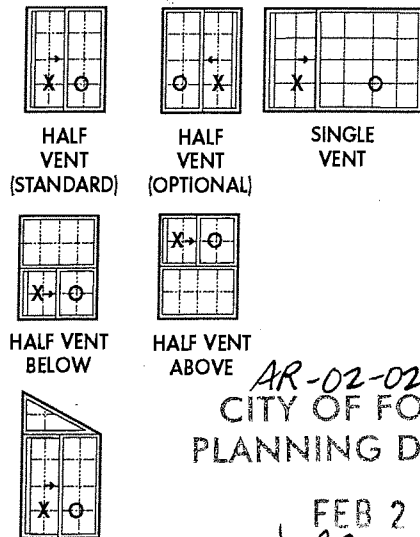


Vertical cut-away view of Standard Horizontal Slider



Vertical cut-away view of Thermalbreak Horizontal Slider

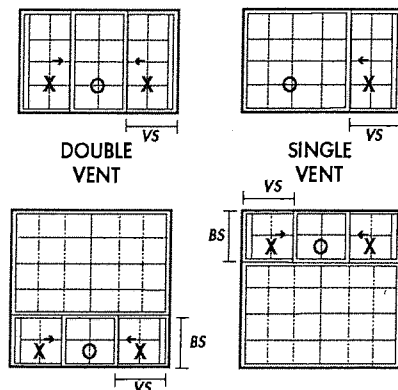
Horizontal Slider Configurations



GABLE TOP HALF VENT

*Viewed from exterior

REQUIRED INFORMATION



DOUBLE VENT BELOW
DOUBLE VENT ABOVE
VENT AND BAR SETS MUST BE SPECIFIED

VS = Vent Set O = Fixed Panel
BS = Bar Set X = Operable Panel

AR-02-021
CITY OF FOSTER
PLANNING DEPARTMENT

FEB 26 2002

ADMINISTRATIVE APPROVAL

WITH CONDITIONS *ELF*

Grids as shown are optional and must be specified when ordering. The sizes and configurations shown are standard. Special sizes and custom configurations are offered. Consult your Milgard Windows supplier for availability. Always view windows from exterior. Refer to back cover for important information.