

City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222

PROTOTYPE

CITY OF FOSTER CITY
COMMUNITY DEVELOPMENT DIRECTOR'S ACTION
NOTICE OF DECISION

APPLICATION RECEIVED: February 28, 2019

APPLICATION COMPLETE: April 1, 2019

ACTION DATE: April 2, 2019

CASE NO: UP2019-0007 (supersedes UP-75-18II dated March 5, 2008)

OWNER: Whaler's Island Homeowners' Association, Attn: Alison LeBlanc, 662 Greenwich Lane, Foster City, CA 94404

ADDRESS: Manor Association, Attn: Denise Wallace, 353 Main Street, Redwood City, CA 94063

APPLICATION FOR: Prototypical Design Guidelines for Replacement of Garage Doors

LOCATION: Whaler's Island Planned Development

ZONING: R-1/PD (Single Family Residence/Planned Development) District

CEQA DETERMINATION: Categorically Exempt – Section 15301, Existing Facilities

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City took the action described above on the subject Architectural Review application based on the following findings:

1. The proposal to modify the prototype design for replacement of garage doors for residential units in the Whaler's Island Planned Development, as conditioned in Exhibit A and illustrated in Exhibits B and C, would be consistent with the Foster City General Plan, Chapter 17.12 (R-1 Single-Family Residence District) of Title 17 (Zoning), and Chapter 2.28 (Planning) of Title 2 (Administration and Personnel) of the Foster City Municipal Code, because the proposed prototypical design will maintain the existing appearance of residential units in the development, will allow for necessary maintenance and repair of houses and garage doors, will preserve "the quality of the City's residential neighborhoods" as stated in the Land use and Circulation Goal (LUC-A and LUC-B) and Land Use Policies (LUC-A-1 and LUC-B-1) contained in the Land Use and Circulation Element of the Foster City General Plan, and will be consistent with the residential use of the residences in the development and the Whalers' Island Planned

Development Prototypical Guidelines.

2. That the proposed amendment to the garage door prototype is appropriate to the City, the neighborhood, and the lot on which it is proposed because the design, colors, and materials of the proposed prototypical garage door will be compatible with the architectural style, character, and proportions of houses in the development and therefore, will be in keeping with similar improvements in the neighborhood.
3. That the proposed amendment to the garage door prototype would be compatible with the site's environment with respect to use, forms, materials, colors, setbacks, location, height, design or similar qualities as specified in Section 17.58.010 of Chapter 17.58 (Architectural Control and Supervision) because the prototype design: 1) will ensure that garage door replacements are orderly and consistent for all residential units in the development, and therefore, the overall architectural style and characteristics throughout the development will be preserved consistent with Section 17.58.010.B.1; 2) will be compatible with the architectural style, character, and proportions of houses in the Whalers' Island development and therefore, will enhance their site and be harmonious with the highest standards of improvement in the surrounding area consistent with Sections 17.58.010.B.2 and 17.58.010.B.4; and 3) will be in the same location as the existing door and painted to match the exterior body or trim color of the house as approved by the HOA, and therefore, will be consistent with the Whalers' Island Planned Development Prototypical Guidelines.
4. That the proposed amendment to the garage door prototype would not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood, property values in the area, or the general welfare of the City because the prototypical design will ensure that all residential units maintain similar architectural characteristics, will meet the requirements of Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code, and will not have detrimental visual impacts on the neighborhood, the Whalers' Island Planned Development, or the property values in the area.

This action is subject to any conditions contained in Exhibit A and illustrated in Exhibits B and C, attached.

Expiration

Any Use Permit Modification approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Use Permit Modification Review decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Use Permit Modification Review conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records. *Please be advised that a Building Permit **will not** be issued until the Planning/Code Enforcement Division has received the signed Notice of Decision.*

Sincerely,

Marlene Subhashini
Acting Community Development Director

Denise Wallace, Managing Agent, Whalers Island HOA
(Owner's Name) (Please Print)

Planners Initials BH

Denise Wallace
(Owner's Signature)

EXHIBIT A
WHALERS' ISLAND HOMEOWNERS' ASSOCIATION
Prototypical Design Guidelines for Garage Doors
Amended April 2, 2019

The following guidelines shall govern the installation of replacement garage doors in the Whalers' Island Planned Development:

CONDITIONS OF APPROVAL

1. Prior to construction, all necessary building permits shall be obtained from the Foster City Building Division.
2. All construction shall be designed, constructed, installed, and maintained in a professional manner.
3. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval. The construction or placement of unapproved features or unapproved changes to buildings or structures which were a part of approved plans can and will result in the issuance of a "Stop Work Order" by the City, the need to revise plans and obtain City approval for all changes prior to recommending work, and the possibility of penalty fees being assessed for unauthorized work.
4. All vents, gutters, downspouts, flashings, etc. shall be painted to match the color of the adjacent surfaces. No electrical conduits or similar piping shall be allowed on the exterior of the building unless approved prior to installation by the Community Development Director. (not included in their prototype)
5. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
6. Prior to any final building inspection approval, these conditions and all improvements shall be completed in accordance with the approved plans and to the satisfaction of the City.
7. Once a building permit is issued, it is the permit holder's responsibility to ensure that the project receives a final inspection before the building permit expires (180 days after the last inspection). Failure to receive and/or pass a final inspection will result in the expiration of the building permit which will require additional fees to reactivate.
8. Building materials, construction equipment and tools, or other items related to the construction or demolition work to be performed shall be stored behind and below required fencing/screening unless special approval to place or store the materials or items is granted by the Community Development Director.
9. This approval shall supersede all previous prototype approvals for garage doors. The original garage doors in Whalers' Island were single panel doors constructed of wood. Most original garage doors have been replaced by hinged sectional doors that have four or five sections in height and three or four sections in width. There are two styles of garage doors approved by the prototype but the Association will consider homeowner requests for custom styles that are in character with the neighborhood architecture.
- 10. The two approved standard garage door styles are single panel doors and sectional doors:**

- a. **Single panel doors must be made of the same type of wood like-for-like as the original door.**
 - b. **Sectional doors may have four or five sectional rows and three or four sectional columns. The top row may have windows. The sectional door material may be wood, wood grained composite or wood grained metal. Section panels may be flat or raised.**
- 11. Windows are allowed but not required in the top row of sectional doors. Windows must conform to one of the styles shown in Exhibit B. Windows must use clear glass with non-reflective glazing.**
- 12. Garage doors shall be painted to exactly match the exterior body or trim color of the house. Sectional door panels cannot have contrasting accent colors. Trim around windows can be painted either the same color as the rest of the door or the color of the trim around the edge of the door. Refer to the "Exterior Colors and Siding" prototype for more details about color.**
- 13. All requests for custom designed garage doors shall be individually reviewed by the Whaler's Island Homeowners Association on a case-by-case basis and subject to an Architectural Review Permit reviewed by the Community Development Director.**

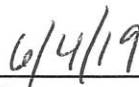
Bold Text: Indicates Site Specific Conditions

APPROVAL PROCESS

1. If the request is for a custom designed garage door the homeowner or contractor shall apply for an Architectural Review Permit and shall submit the following:
 - a. A letter from the Whalers' Homeowners Association (HOA), indicating their action on the proposal.
 - b. Building Permit application and all applicable fees.
 - c. A manufacturers brochure or catalog cut sheet that shows the design of the garage door including the panel design, number of sections, window style, frame type, colors and material.
 - d. A photograph of the existing garage door.
2. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved for the replacement of garage doors for the Whalers' Island Development.



 Denise Wallace, Managing Agent Manor Association
 Whalers' Island Homeowners Association



 Date



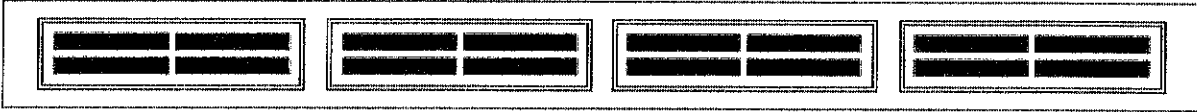
 Marlene Subhashini, Community Development Director
 City of Foster City



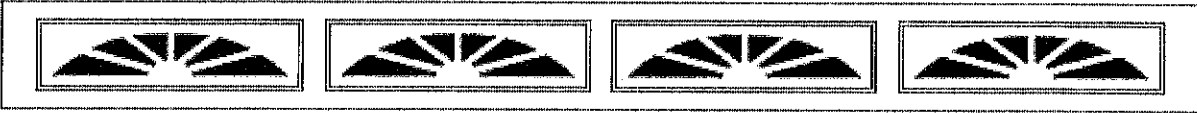
 Date

EXHIBIT B

Approved Garage Windows Styles



Ranch Virginiar



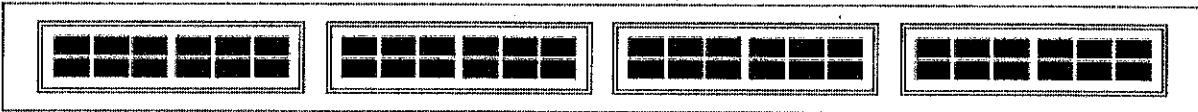
Sherwood



Sunset



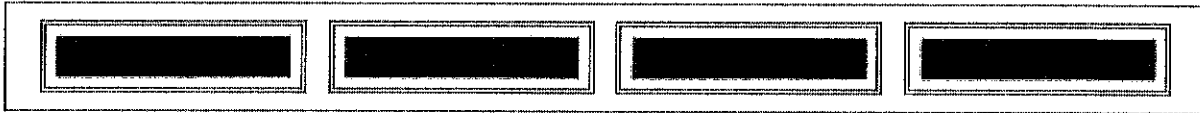
Victoria



Lancaster



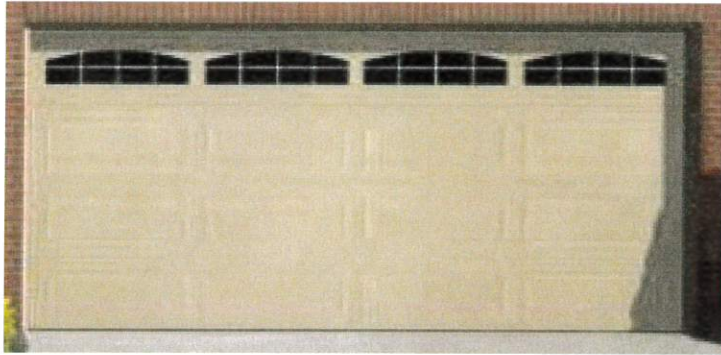
Horizon



Ranch Designer

EXHIBIT C

Approved Sectional Door Examples



ESSEX Street

Gloucester Street

